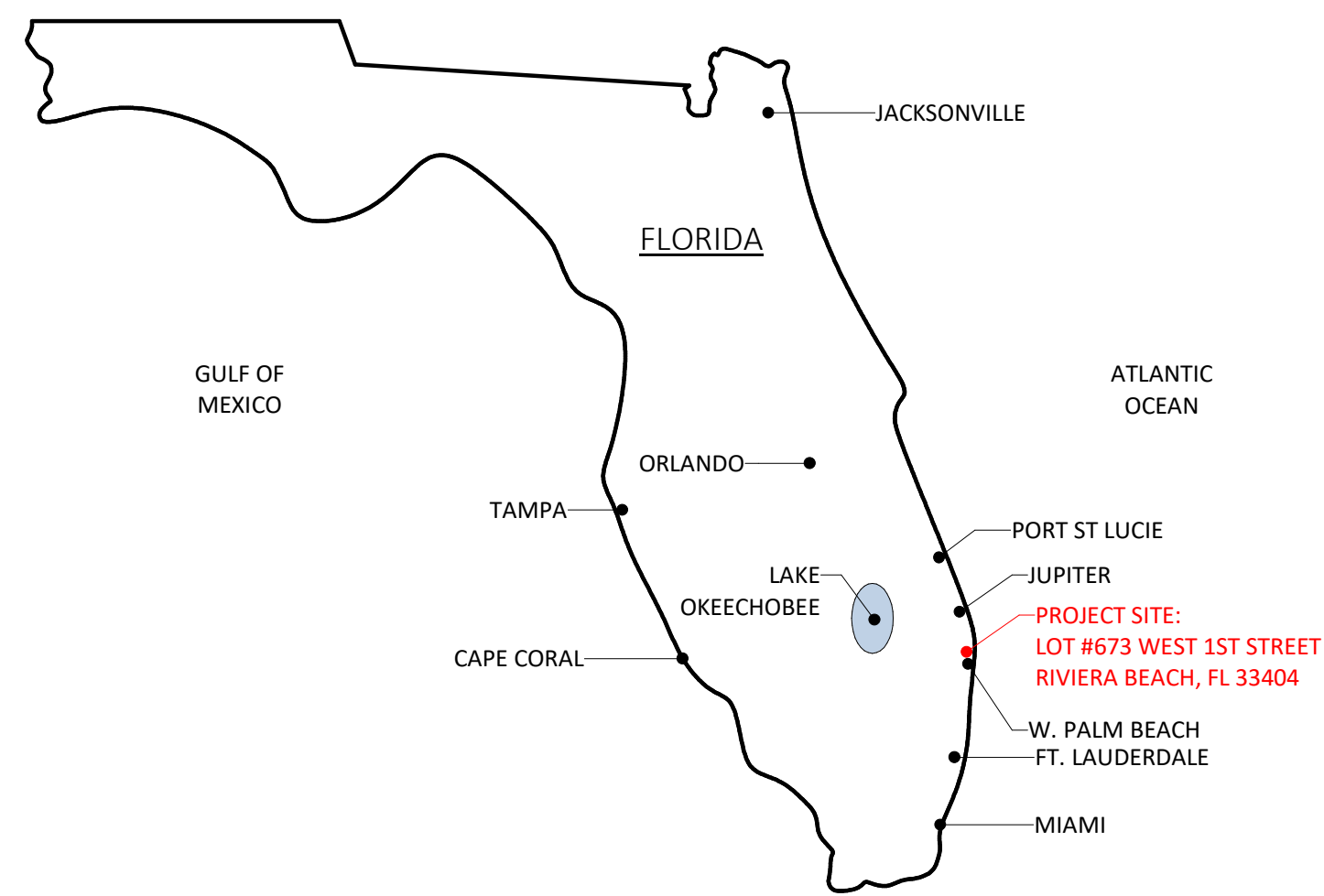


# RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)

## PROTOTYPE SINGLE FAMILY HOME 2 STORY

Vacant Lot #673 West 1st Street  
Riviera Beach, FL 33404

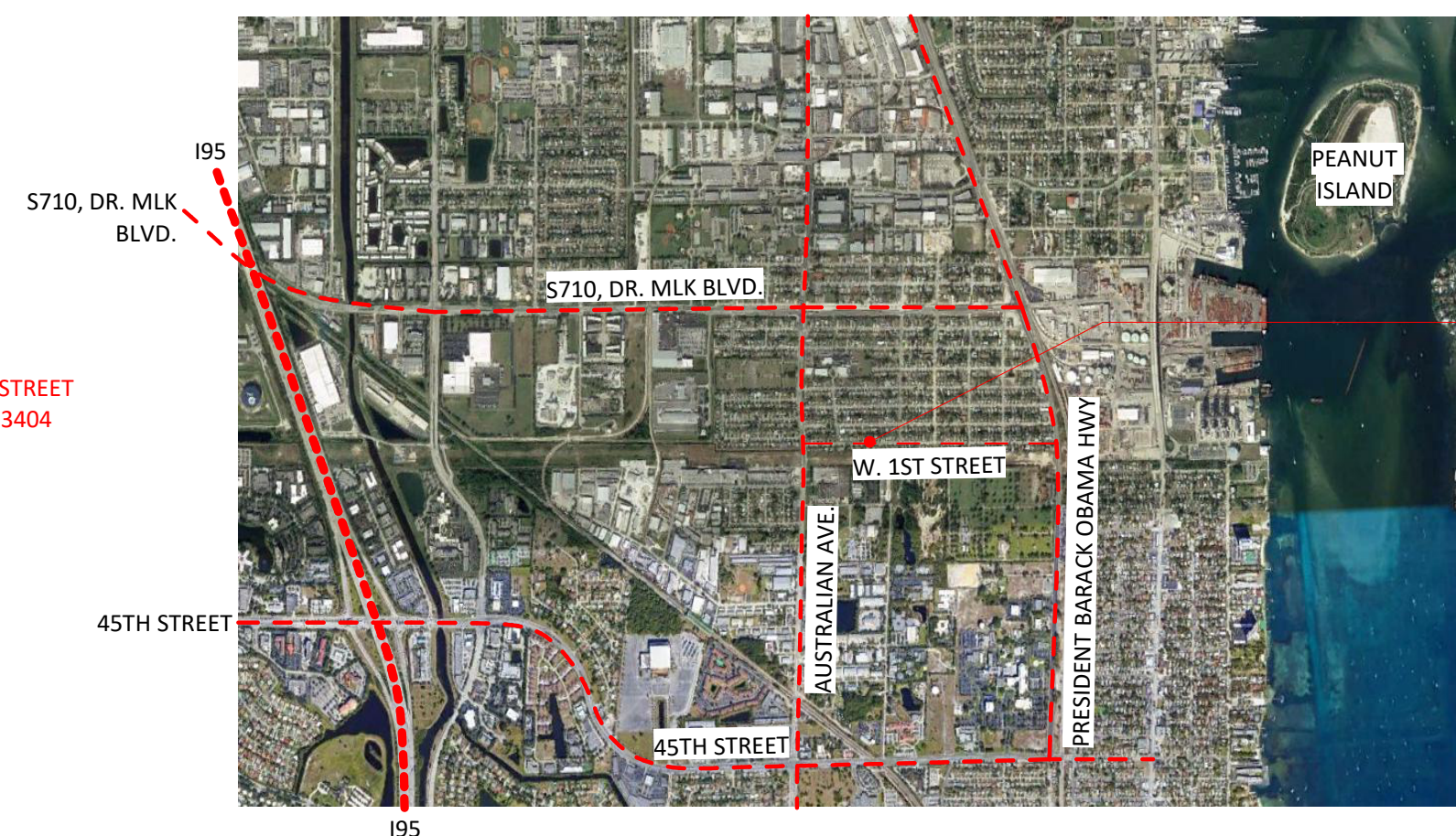
PERMIT SET  
06.22.18



PROJECT LOCATION MAP



VICINITY MAP



AREA MAP



PROJECT AREA MAP

DRAWN BY: JQ	
CHECKED BY: DD	
DQS PN#: 1713	
<small>LICENSE   AA 20003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P: (786) 238-1522 F: (305) 223-0574 WWW.D-QS.COM</small>	
<small>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF DQ STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF DQ STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND DQ STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</small>	



# ARCHITECTURAL ABBREVIATIONS

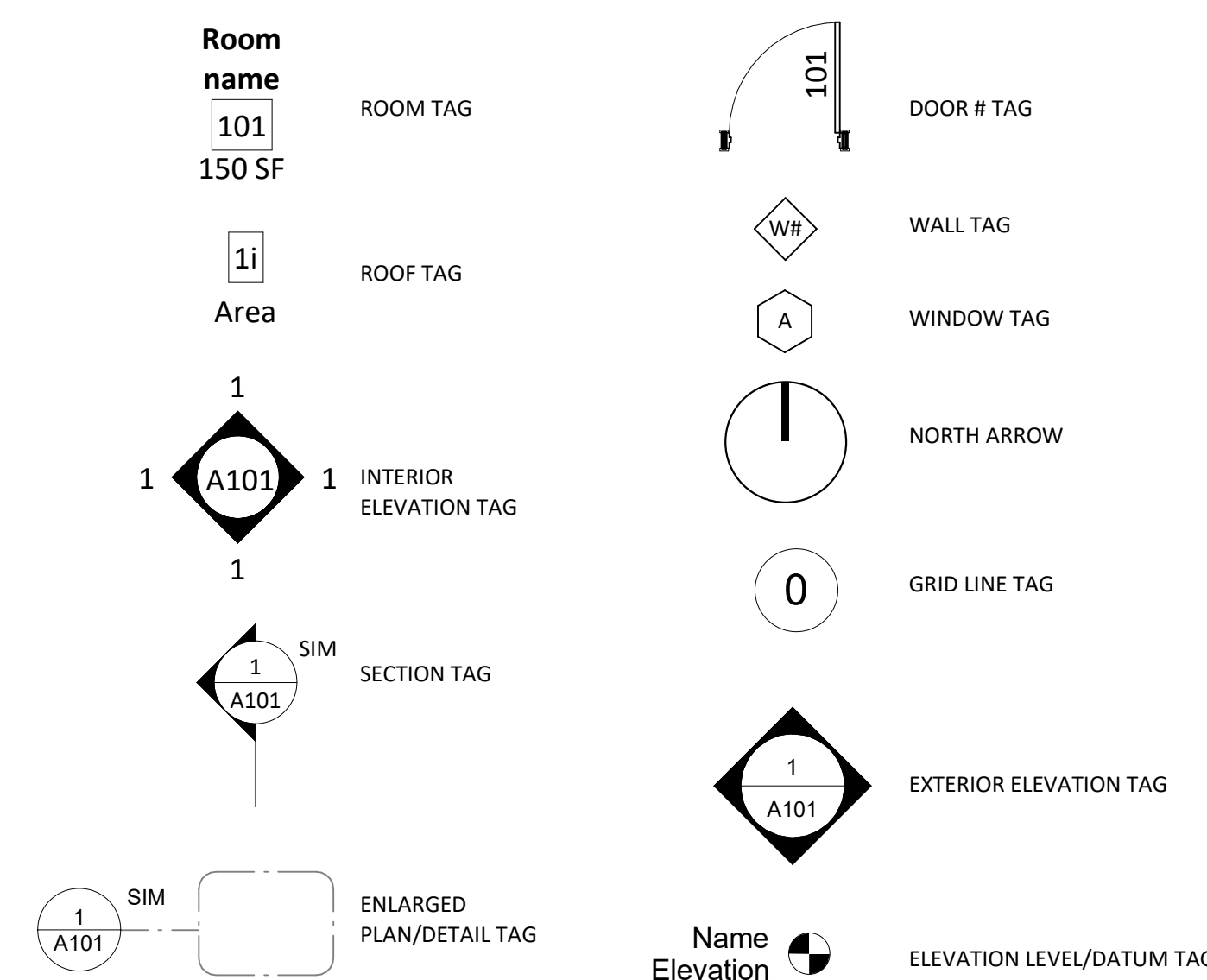
∠ Angle	L Length
☉ Center line	LAV Lavatory
∅ Diameter or round	LBS Pounds
± Plus or minus	LD Linear Diffuser
ℓ Plate or property line	LF Linear Feet
c/c Center to Center	LH Left Hand
A/C Air Conditioner/ing	LOC Location
AC Acoustical	LT Light
ACC Accessible	LVR Louver
ACFL Access Floor	LVT Luxury Vinyl Tile
ACT Acoustical Ceiling Tile	MAX Maximum
AD Area Drain	MECH Mechanical
ADDM Addendum	MFR Manufactory
ADJ Adjacent	MIN Minimum
ADJT Adjustable	MISC Miscellaneous
AFF Above Finished Floor	MO Masonry Opening
AFR Above Finished Roof	MCT Linoleum/Marmoleum Composite Tile
AHU Air Handling Unit	MTD Mount (ed) (ing)
A.L. Arc Length	MTL Metal
ALUM Aluminum	MULL Mullion
ALT Alternate	N North
ANOD Anodized	NAT Natural
AP Access Panel	NGVD National Geodetic Vertical Datum
APPROX Approximate	NIC Not in Contract
BD Board	NO/ # Number
BDR Bedroom	NOM Nominal
BFF Below Finish Floor	NRC Noise Reduction Coefficient
BTWN Between	NTS Not to Scale
BLDG Building	OA Overall
BLK Block	OC On Center
BM Beam	OD Outside Dimension
BOB Bottom of Beam	OFF Office
BOP Bottom of Pipe	OH Overhead
BR Bathroom	OPNG Opening
BS Both Sides	OPP Opposite
BTU British Thermal Unit	OS Occupancy Sensor
CAB Cabinet	PBD Particle Board
CAS Casement	PCF Pounds Per Cubic Foot
CEM Cement	PLAS Plaster
CHR Chair rail	PED Pedestal
CUFF Cubic Foot (Feet)	PERIM Perimeter
CG Corner Guard	PLAM Plastic Laminate
CIR Circle	PLBG Plumbing
C.I.P. Cast in Place	PLWD Plywood
CJ Control Joint	PIV Point indication Valve
CL Center Line	PNL Panel
CLF Chain Link Fence	PNT Paint
CLR Clear	PREFAB Prefabricated
CLG Ceiling	PROP Proposed
CMU Concrete Masonry Unit	PSF Pounds Per Square Foot
CO Clean Out	PSI Pound Per Square Inch
COL Column	PT Partition
CONC Concrete	PT Porcelain Tile
COMB Combination	PTL Pressure Treated Lumber
CONT Continuous	PTW Pressure Treated Wood
COORD Coordination	PVC Polyvinyl Chloride Pipe
CPT Carpet	QT Quarry Tile
CPTT Carpet Tile	R Rise
CS Cast Stone	R/W Right-of-Way
CST Casement	RA Return Air
CT Ceramic Tile	RAD/ R Radius
CTR Counter	RD Roof Drain
CU Condensing Unit	RE Relocated
DIA Diameter	REIN Reinforced/ Reinforcing
DIAG Diagonal	REQ'D Required
DIF Diffuser	RM Room
DIM Dimension	RUB Rubber Wall Base
DW Dishwasher	RUBTR Rubber Stair Tread
DR Door or Dining Room	RCP Reflected Ceiling Plan
DN Down	REC Recessed
DET Detail	RECPT Receptacle
DWG Drawing	RLG Railing
E East	RO Rough Opening
EA Each	RTU Rooftop Air Handling Unit
EC Eased Corner	S South
EL Elevation	SAN Sanitary
ELEC Electric	SCHED Schedule
ELEV Elevator	SF Square Feet
ENCL Enclose	SHT Sheet
ENGR Engineer (ing)	SIM Similar
EQ Equal	SP Space
EQUIP Equipment	SPEC(S) Specifications(s)
EWC Electric Water Cooler	STD Standard
EXTG Existing	STL Steel
EXP Exposed, Expansion	STR Structural
EXT Exterior	SUP Support
FD Floor Drain / Fire Damper	SUSP Suspended
FE Fire Extinguisher	SW Sidewalk
FEC Fire Extinguisher Cabinet	T Thickness / Tread
FF Finished Floor	TOB Top of Beam
FIN Finish	TOC Top of Concrete
FLR Floor	TOF Top of Footing
FS Floor Sink	TOI Top of Insulation
FT Feet	TOP Top of Parapet
GA Gauge	TOS Top of Slab
GALV Galvanized	TOW Top of Wall
GB Grab Bar	TYP Typical
GL Glass	UNO Unless Noted Otherwise
GUM Glass Unit Masonry	UE Utility Easement
GWB Gypsum Wallboard	VCT Vinyl Composition Tile
GYP Gypsum	VERT Vertical
H/HT Height	VTR Vent thru Roof
HB Hose Bib	W Width / West
HDW Hardware	W/ With
HDWD Hardwood	WCO Wall Cleanout
HORZ Horizontal	WD Wood
ID Inside Diameter	WP Weatherproof
IN Inch / Inches	
INSUL Insulation	
INT Interior	
JB Joint Bearing	
JT Joint	
JBOX Junction Box	

# GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BIDDING AND START OF CONSTRUCTION. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL COMPLY WITH ALL APPROVED APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES, LAWS, REGULATIONS AND ORDINANCES.
- ALL MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE UTILIZED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE DONE IN A NEAT AND WORKMAN-LIKE MANNER IN ACCORDANCE WITH ALL GOVERNING AGENCIES, RULES AND REPUTATIONS HAVING JURISDICTION.
- UNDER NO CIRCUMSTANCES SHALL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT NOR THE APPROVAL OF ARCHITECT OR ENGINEER WITHOUT THEIR WRITTEN APPROVAL.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW PRIOR TO FABRICATION.
- ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED AND SHALL BEAR THE REVIEW STAMP, DATE AND SIGNATURE OF THE CONTRACTOR BEFORE SUBMITTAL TO ARCHITECT AND/OR ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS DAILY FROM THE SITE AND FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER, INCLUDING BUT NOT LIMITED TO WINDOW, STOREFRONTS, FLOORS, CONSTRUCTION MATERIAL FROM THE SITE AND SHALL ALSO BE RESPONSIBLE FOR WALLS, DOORS, ETC. CONTRACTOR SHALL PROVIDE ITS OWN TRASH CONTAINER AT THE LOCATION SELECTED BY THE OWNER. ALL DEMOLITION AND CONSTRUCTION AREAS SHALL HAVE "NO SMOKING" SIGNS POSTED.
- UPON COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER A COMPLETED SET OF RECORD DRAWINGS ("AS-BUILT") ALONG WITH THE WRITTEN GUARANTEES, AND ALL OPERATION AND MAINTENANCE MANUAL OF ALL EQUIPMENT AND FINISHES INSTALLED.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXCEPTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL APPURTENANCES FOR EQUIPMENT TO BE PLACED IN WORKING ORDER.
- CONTRACTOR SHALL BE REQUIRED TO CONTINUOUSLY MAINTAIN ALL NECESSARY UTILITIES DURING CONSTRUCTION.

DRAWING INDEX				
DRAWING NUMBER	DRAWING TITLE	ISSUE DATE	REVISION #	REVISION DATE
COVER SHEET, DRAWING INDEX & NOTES				
A-000	COVER SHEET	06.22.18		
A-001	DRAWING INDEX & NOTES	06.22.18		
SITE PLANS				
AS-100	LANDSCAPING SITE PLAN	06.22.18		
AS-110	SITE PLAN & FENCE DETAILS	06.22.18		
ARCHITECTURAL				
A-100	1ST & 2ND FLOOR PLANS	06.22.18		
A-110	ENLARGED STAIR PLAN, SECTIONS AND DETAILS	06.22.18		
A-120	STAIR SECTIONS	06.22.18		
A-200	ELEVATIONS	06.22.18		
A-300	BUILDING SECTIONS	06.22.18		
A-400	REFLECTED CEILING PLAN (RCP)	06.22.18		
A-500	ROOF PLAN	06.22.18		
A-600	WALL SECTIONS	06.22.18		
A-700	FINISH SCHEDULE & DETAILS	06.22.18		
A-710	INTERIOR ELEVATIONS	06.22.18		
A-720	INTERIOR DETAILS	06.22.18		
A-800	DOOR & WINDOW DETAILS	06.22.18		
STRUCTURAL				
S-1	STRUCTURAL FOUNDATION PLAN AND DETAILS	06.22.18		
S-2	STRUCTURAL FIRST FLOOR FRAMING PLAN AND DETAILS	06.22.18		
S-3	STRUCTURAL ROOF FRAMING PLAN AND DETAILS	06.22.18		
MECHANICAL				
M-1	MECHANICAL FLOOR PLAN	06.22.18		
M-2	MECHANICAL NOTES, DETAILS AND SCHEDULES	06.22.18		
ELECTRICAL				
E-1	ELECTRICAL FLOOR PLAN	06.22.18		
E-2	ELECTRICAL NOTES, DETAILS AND SCHEDULES	06.22.18		
PLUMBING				
P-2	PLUMBING NOTES, DETAILS AND SCHEDULES	06.22.18		
P-1	PLUMBING FLOOR PLAN	06.22.18		

# SYMBOLS AND TAGS

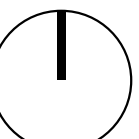


# APPLICABLE CODES:

- THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS. SHOULD THERE BE A CONFLICT BETWEEN ANY CODE REQUIREMENTS, COMPLY WITH THE REQUIREMENT THAT PROVIDES THE GREATEST DEGREE OF LIFE SAFETY.
- FBC (FLORIDA BUILDING CODE), SIXTH EDITION (2017) RESIDENTIAL
- FBC (FLORIDA BUILDING CODE), SIXTH EDITION (2017) BUILDING
- FBC (FLORIDA BUILDING CODE), SIXTH EDITION (2017) EXISTING BUILDING
- FBC (FLORIDA BUILDING CODE), SIXTH EDITION (2017) MECHANICAL
- FBC (FLORIDA BUILDING CODE), SIXTH EDITION (2017) PLUMBING
- FBC (FLORIDA BUILDING CODE), SIXTH EDITION (2017) ACCESSIBILITY
- NEC (NATIONAL ELECTRICAL CODE) 2014, FLORIDA SIXTH EDITION (2017)
- FFPC (FLORIDA FIRE PREVENTION CODE), SIXTH EDITION (2017)

# PROJECT SUSTAINABILITY REQUIREMENTS:

- PROJECT IS TO INCLUDED ALL ENERGY STAR RATED/LABELED: APPLIANCES, LIGHT FIXTURES, DOORS, WINDOWS AND HVAC SYSTEM.
- ALL PLUMBING FIXTURES ARE TO BE LOW FLOW PER PLUMBING SPECIFICATIONS.
- ALL PAINT, ADHESIVES AND SEALANTS TO BE LOW VOC.



<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>			
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY: JQ	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY: DD			DATE
DQS PN#: 1713			
DATE: 06.22.18			
<small>LICENSE # AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P: (786) 239-1322 F: (305) 223-6574 WWW.D-Q-S.COM</small>		<b>DRAWING INDEX &amp; NOTES</b>	
<small>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&amp;Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&amp;Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&amp;Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</small>		<b>PERMIT SET</b>  <h1 style="font-size: 48px;">A-001</h1>	



**GENERAL PLANTING NOTES:**

ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLANS ARE TO BE CONSIDERED MINIMUM. ALL PLANTS MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENT FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN(S) WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.

ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR FLORIDA NURSERY PLANTS" AND "GRADES AND STANDARDS FOR FLORIDA NURSERY TREES". ALL PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASES AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES AND SHRUBS FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANT FURNISHED SHALL BE NORMAL FOR THE VARIETY.

ALL PLANT MATERIALS AS INCLUDED HEREIN SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD AS FOLLOWS: ALL TREES, PALMS, SHRUBS, VINES, GROUND COVER AND MISCELLANEOUS PLANTING MATERIALS FOR 12 MONTHS. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR DAMAGE CAUSED BY VANDALISM, VIOLENT WIND STORMS OR OTHER ACTS OF GOD BEYOND CONTROL. REPLACEMENT SHALL OCCUR WITHIN TWO WEEKS OF REJECTION AND GUARANTEE FROM DATE OF INSTALLATION. LANDSCAPE CONTRACTOR SHALL REPAIR DAMAGE TO OTHER PLANTS OR LAWNS DURING PLANT REPLACEMENTS AT NO ADDITIONAL COST.

ALL PLANT MATERIAL SHALL BE PLANTED IN PLANTING SOIL THAT IS DELIVERED TO THE SITE IN A CLEAN LOOSE AND FRIABLE CONDITION. ALL SOIL SHALL HAVE A WELL DRAINED CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STICKS, AND OBJECTIONABLE MATERIAL INCLUDING WEEDS AND WEED SEED AS PER CSI SPECIFICATION.

SIX INCHES (6") OF PLANTING SOIL 50/50 SAND/TOPSOIL MIX REQUIRED AROUND AND BENEATH THE ROOT BALL OF ALL TREES AND PALMS, AND 1 CUBIC YARD PER 50 BEDDING OR GROUND PLANTS.

ALL LANDSCAPE AREAS SHALL BE COVERED WITH EUCALYPTUS OR STERILIZED SEED FREE MELALEUCA MULCH OF A MINIMUM DEPTH OF THREE INCHES (3") OF COVER WHEN SETTLED. CYPRESS BACK MULCH SHALL NOT BE USED. ROOTBALLS WILL RECEIVE LESS THAN ONE INCH (1") MULCH WITH NO MULCH TOUCHING TRUNK OR ROOT COLLAR. DO NOT APPLY MULCH AGAINST THE TRUNKS OF WOODY SHRUBS

ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING; NO DRY PLANTING PERMITTED. ALL PLANT MATERIALS SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT BALL IS FLUSH WITH THE SURROUNDING GRADE.

ALL LANDSCAPE AND LAWN AREAS SHALL BE IRRIGATED BY A FULLY AUTOMATIC SPRINKLER SYSTEM ADJUSTED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. ALL HEADS SHALL BE ADJUSTED TO 100% OVERLAP AS PER MANUFACTURERS SPECIFICATIONS AND PERFORMANCE STANDARDS UTILIZING A RUST FREE WATER SOURCE. EACH SYSTEM SHALL BE INSTALLED WITH A RAIN SENSOR. LANDSCAPE WORK SHALL BE COORDINATED WITH LANDSCAPE IRRIGATION WORK. LANDSCAPE CONTRACTOR SHALL ENSURE THAT NO PLANTINGS WILL INTERFERE WITH THE PROPER COVERAGE. LANDSCAPE CONTRACTOR SHALL POINT OUT SITUATIONS WHERE MINOR ADJUSTMENTS OR RELOCATION OR ADDITION OF SPRINKLER HEADS MAY BE MOST BENEFICIAL FOR LANDSCAPE WORK AS A WHOLE. PROVIDE BUBBLERS ON SEPARATE ZONES FOR ALL NEWLY PLANTED AND TRANSPLANTED TREES UNLESS ALTERNATE APPROACH TO PROVIDE ADDITIONAL WATER IS APPROVED BY OWNER AND PROJECT ARCHITECT.

IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INSURE THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER DURING THE INSTALLATION AND DURING ALL PLANT WARRANTY PERIODS. DEEP WATERING OF ALL NEW TREES AND PALMS AND ANY SUPPLEMENTAL WATERING THAT MAY BE REQUIRED TO AUGMENT NATURAL RAINFALL AND SITE IRRIGATION IS MANDATORY TO INSURE PROPER PLANT DEVELOPMENT AND SHALL BE PROVIDED AS PART OF THIS CONTRACT.

ALL PLANT MATERIAL SHALL BE INSTALLED WITH FERTILIZER, WHICH SHALL BE STATE APPROVED AS A COMPLETE FERTILIZER CONTAINING THE REQUIRED MINIMUM OF TRACE ELEMENTS IN ADDITION TO N-P-K, WHICH 50% OF THE NITROGEN SHALL BE DERIVED FROM ORGANIC SOURCE AS PER CSI SPECIFICATIONS.

CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH THE OWNERS AND APPROPRIATE PUBLIC AGENCIES TO ASSIST IN LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CARE SHALL BE TAKEN NOT TO DISTURB OR DAMAGE AND UNDERGROUND CONSTRUCTION OR UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER. WHERE UNDERGROUND OBSTRUCTIONS WILL NOT PERMIT THE PLANTING MATERIALS IN ACCORDANCE WITH THE PLANS, NEW LOCATIONS SHALL BE APPROVED BY THE PROJECT ARCHITECT.

ALL SOD AREAS AS INDICATED ON THE LANDSCAPE PLAN SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE "FLORATAM" SOLID SOD. ALL SOD SHALL BE INSTALLED IN SUCH A MANNER THAT THERE IS AN EVEN SURFACE, STAGGERED PATTERN. SOD WILL BE GREEN IN COLOR AND IN GOOD HEALTH. NO OVERLAP, GAPS, DAMAGE, INSECTS, DISEASE AND LESS THAN 10% CHLOTOSIS WILL BE PERMITTED. ALL GAPS WILL BE FILLED WITH CLEAN NATIVE SOIL.

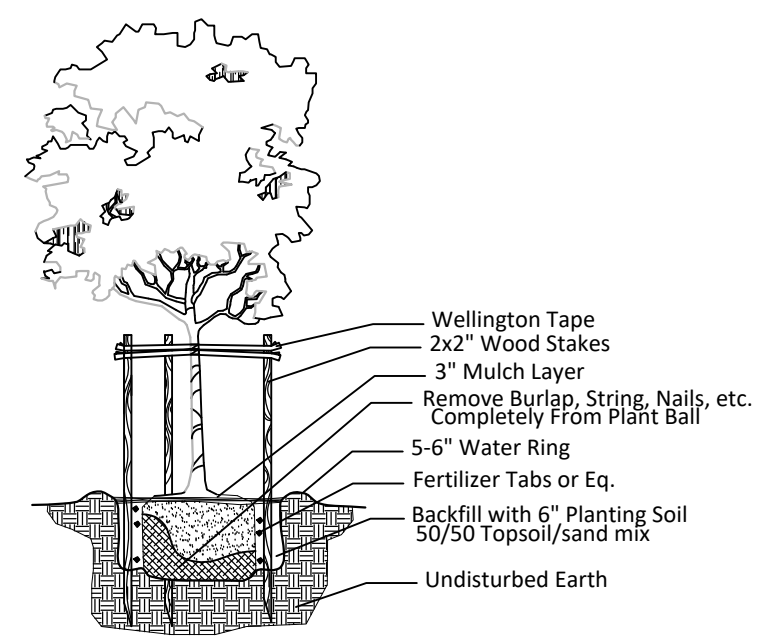
PLAN SHALL MEET FLORIDA-FRIENDLY LANDSCAPE REQUIREMENTS.

SITE WATER SHALL BE VERIFIED BY CONTRACTOR PRIOR TO SUBMISSION OF BIDS.

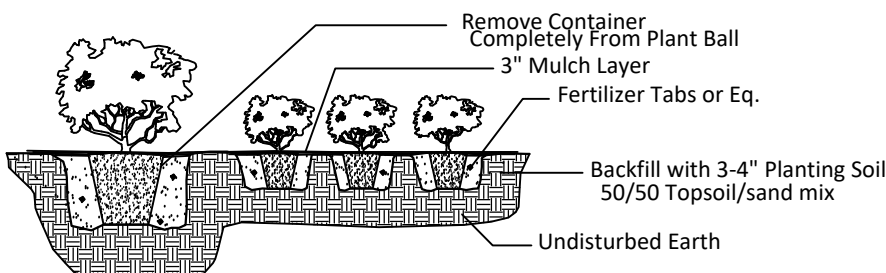
NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL FROM THE OWNER. INTENDED SUBSTITUTIONS SHALL BE INDICATED ON THE BID

UPON WRITTEN REQUEST FROM THE CONTRACTOR, OWNER AND/OR PROJECT ARCHITECT SHALL PERFORM INSPECTION TO DETERMINE COMPLETION OF CONTRACT.

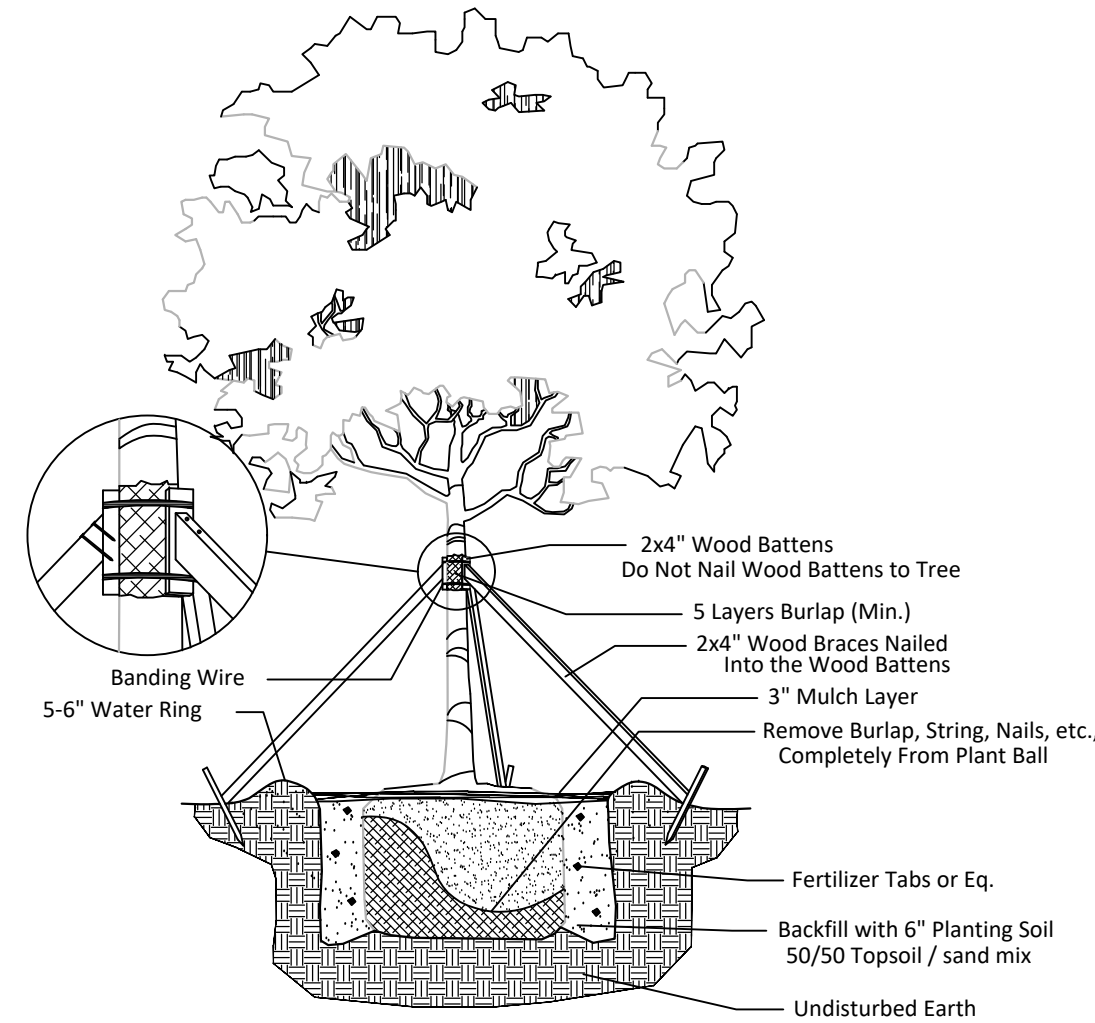
FOLLOWING INSPECTION, CONTRACTOR WILL BE NOTIFIED, IN WRITING, BY OWNER AND/OR PROJECT ARCHITECT OF ACCEPTANCE OF COMPLETION WITH REGARDS TO PLANT MATERIAL AND WORKMANSHIP ACCORDING TO CONTRACT.



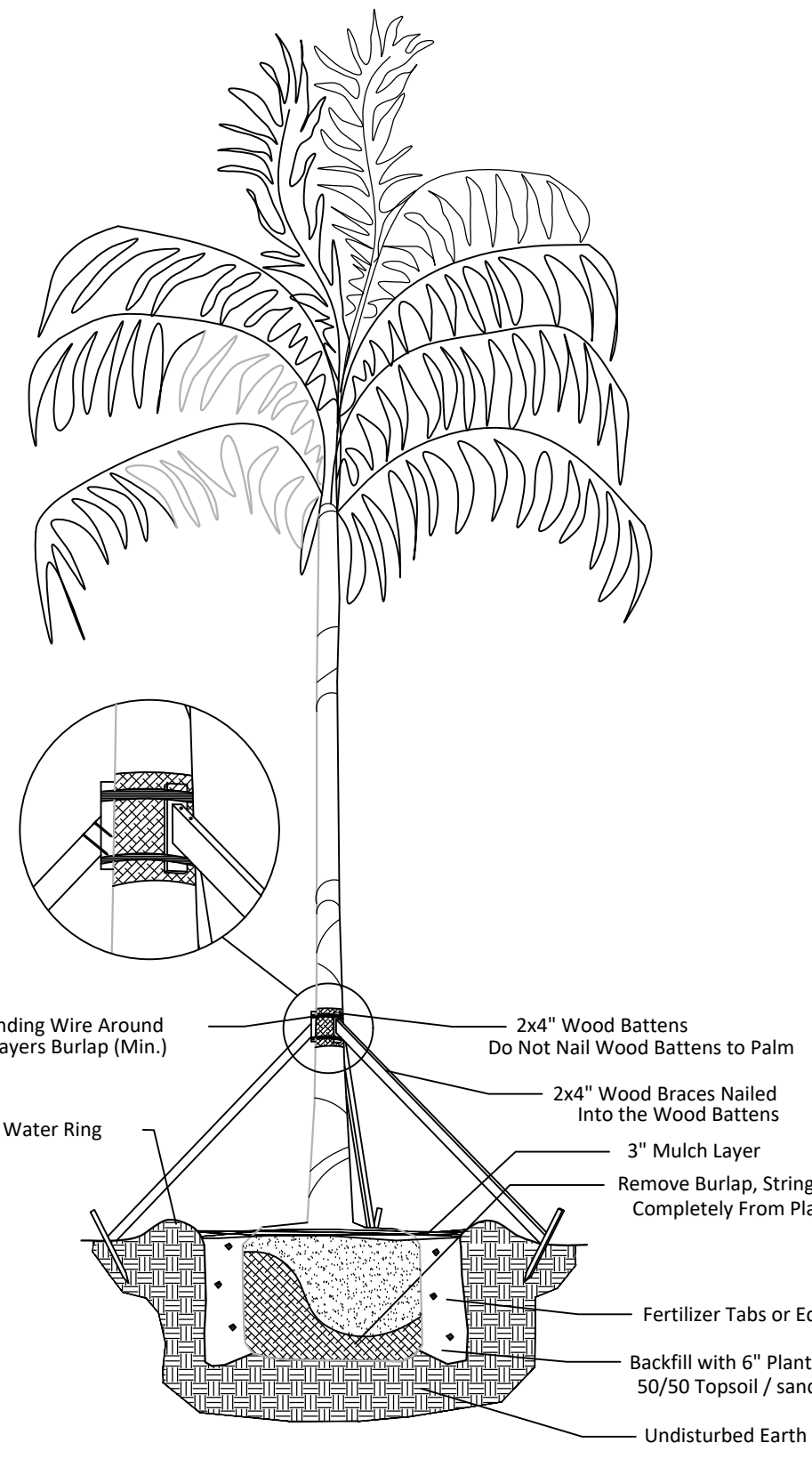
**Small Tree Planting Detail**



**Shrub & Ground Cover Planting Detail**

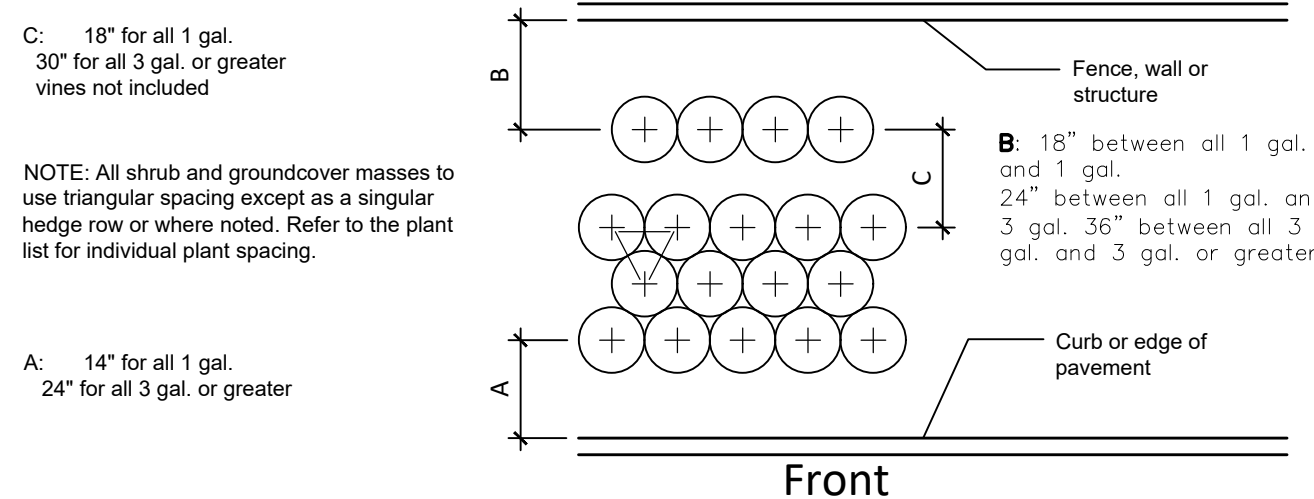


**Large Tree Planting Detail**



**Palm Planting Detail**

**Typical Planting Spacing**



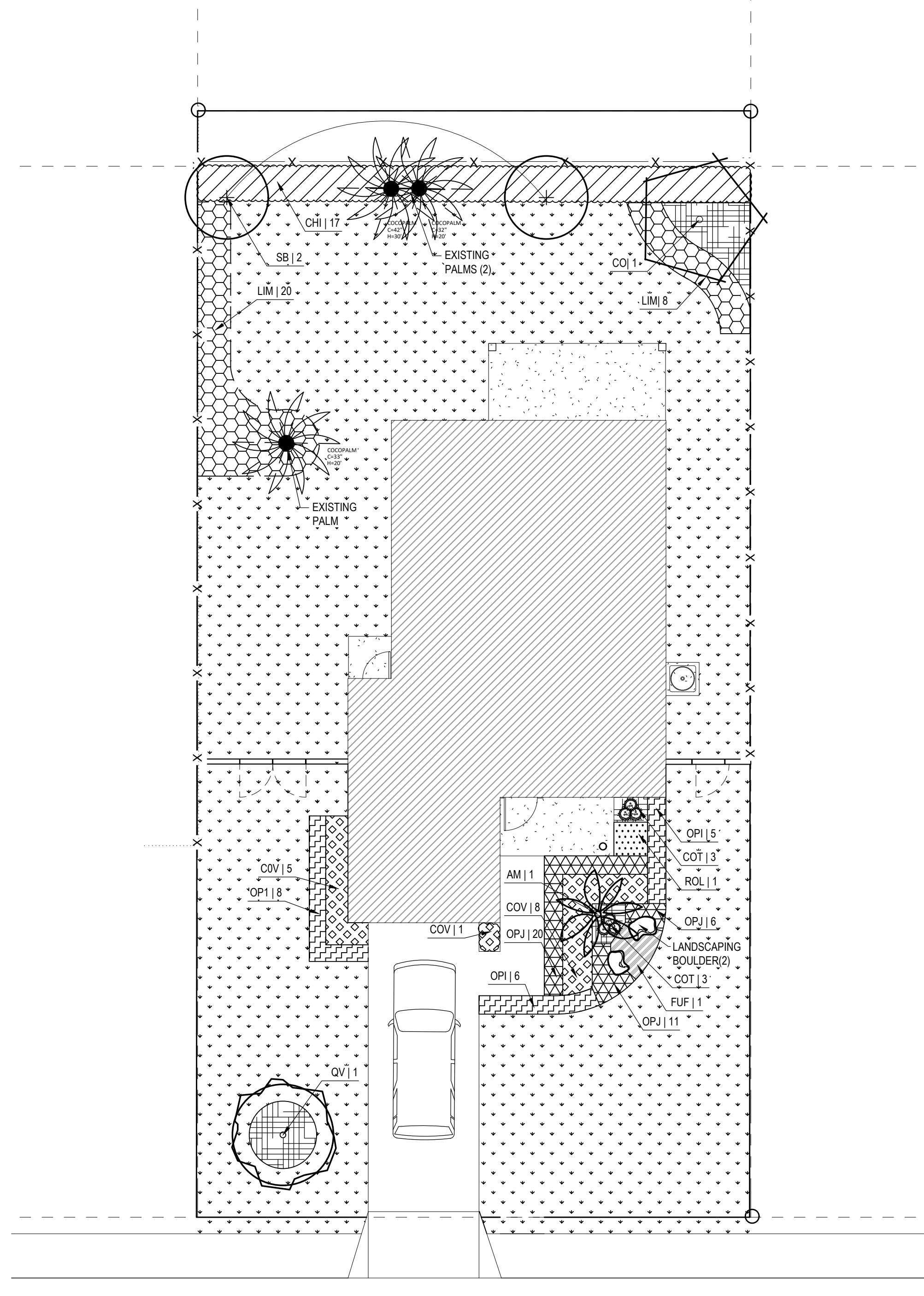
**PLANTING LIST SCHEDULE**

SYMBOL	CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARK
	QV	1	QUERCUS VIRGINIANA	LIVE OAK	14"x6'-8", 6' C.T.	SHADE TREE, NATIVE
	CO	1	COCCOLOBA UVIFERA	SEA GRAPE	12'X5, 2" DBH 25 GAL.	SHADE TREE, NATIVE
	SB	2	CONOCARPUS ERECTUS VAR. SERICEUS	SILVER BUTTONWOOD	8'-10" OA 25 GAL.	ACCENT TREE, NATIVE
	SM	1	ADONIDIA MERRILLII (MULTI TRUNK)	CHRISTMAS PALM	5' C.T. 25 GAL.	MULTI-TRUNK, NON-NATIVE
	COT	6	CORDYLINE TERMINALIS	RED SISTER	3 GAL.	NON-NATIVE
	OPI	19	OPHIPOGON INTERMEDIUS	AZTEC GRASS	1 GAL. 24" SP.	NON-NATIVE
	OPJ	37	OPHIPOGON JAPONICUS NANA	DWAFT MONDO	1 GAL. 12" SP.	NON-NATIVE
	ROL	1	RONDELETIA LEUCOPHYLLA	PANAMA ROSE	3 GAL.	NON-NATIVE
	CHI	17	CHRYSOBALANUS ICACO	RED TIP COCOPLUM	3 GAL.	NATIVE
	COV	14	CODIAEUM VARIEGATUM	CROTONS	3 GAL.	NON-NATIVE
	FUF	1	FURCRAEA FOETIDA "VARIEGATA"	VARIEGATED FALSE AGAVE	3 GAL.	NON-NATIVE
	LIM	28	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILLYTURF	3 GAL. 24" SP.	NON-NATIVE

**LANDSCAPE LEGEND**

SYMBOL	DESCRIPTION
	EXISTING PALM TREES, TO REMAIN
	SOD, REFER TO GENERAL PLANTING NOTES.
	MULCH, REFER TO GENERAL PLANTING NOTES. MULCH ALL PLANTING BEDS
	LANDSCAPING BOULDER

NOTE: REFER TO PLANTING LIST SCHEDULE FOR NEW PLANTINGS



WEST 1ST STREET

01 LANDSCAPE PLAN  
AS-100 SCALE: 1/8" = 1'-0"

**48 HOURS BEFORE DIGGING**  
BROWARD PALM BEACH INDIAN RIVER  
ST. LUCIE MARTIN COUNTIES  
CALL FREE  
**1-800-432-4770**  
SUNSHINE NOTIFICATION CENTER



**RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)**  
**PROTOTYPE SINGLE FAMILY HOME 2 STORY**

DRAWN BY: DD  
CHECKED BY: DD  
DQS PN#: 1713  
DATE: 06.18.18

LOT # 673 WEST 1ST STREET,  
RIVIERA BEACH, FL. 33404

NO. REVISIONS DATE

STATE OF FLORIDA  
DANIEL DIAZ  
AR 97839  
REGISTERED ARCHITECT

DANIEL DIAZ  
AR # 97839

PERMIT SET  
**AS-100**

LANDSCAPING PLAN

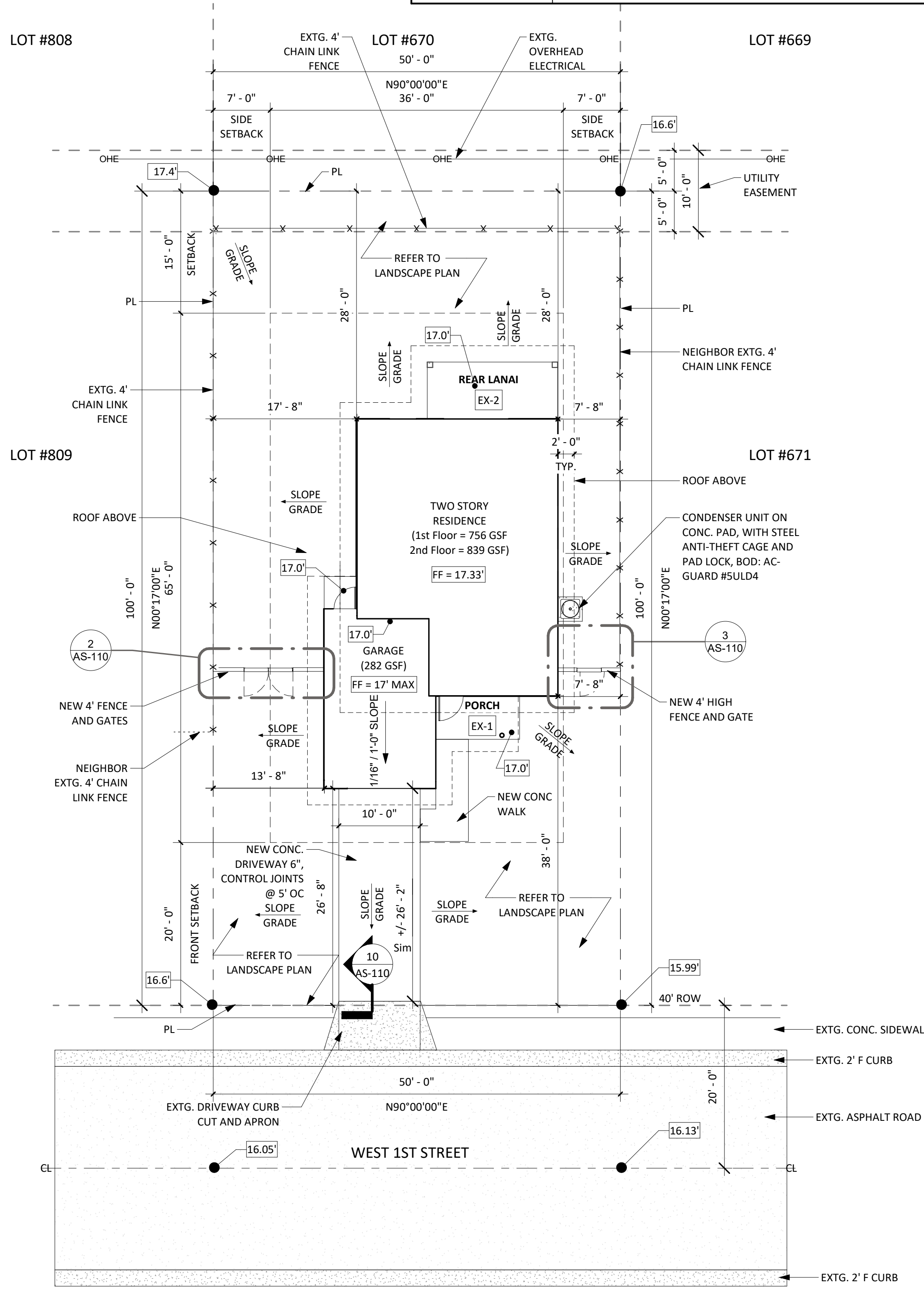
© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO, LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO, LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO, LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.  
8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 | AA 2600189  
P. 786.239.1922 | F. 305.233.0574 | WWW.D-Q-8.COM



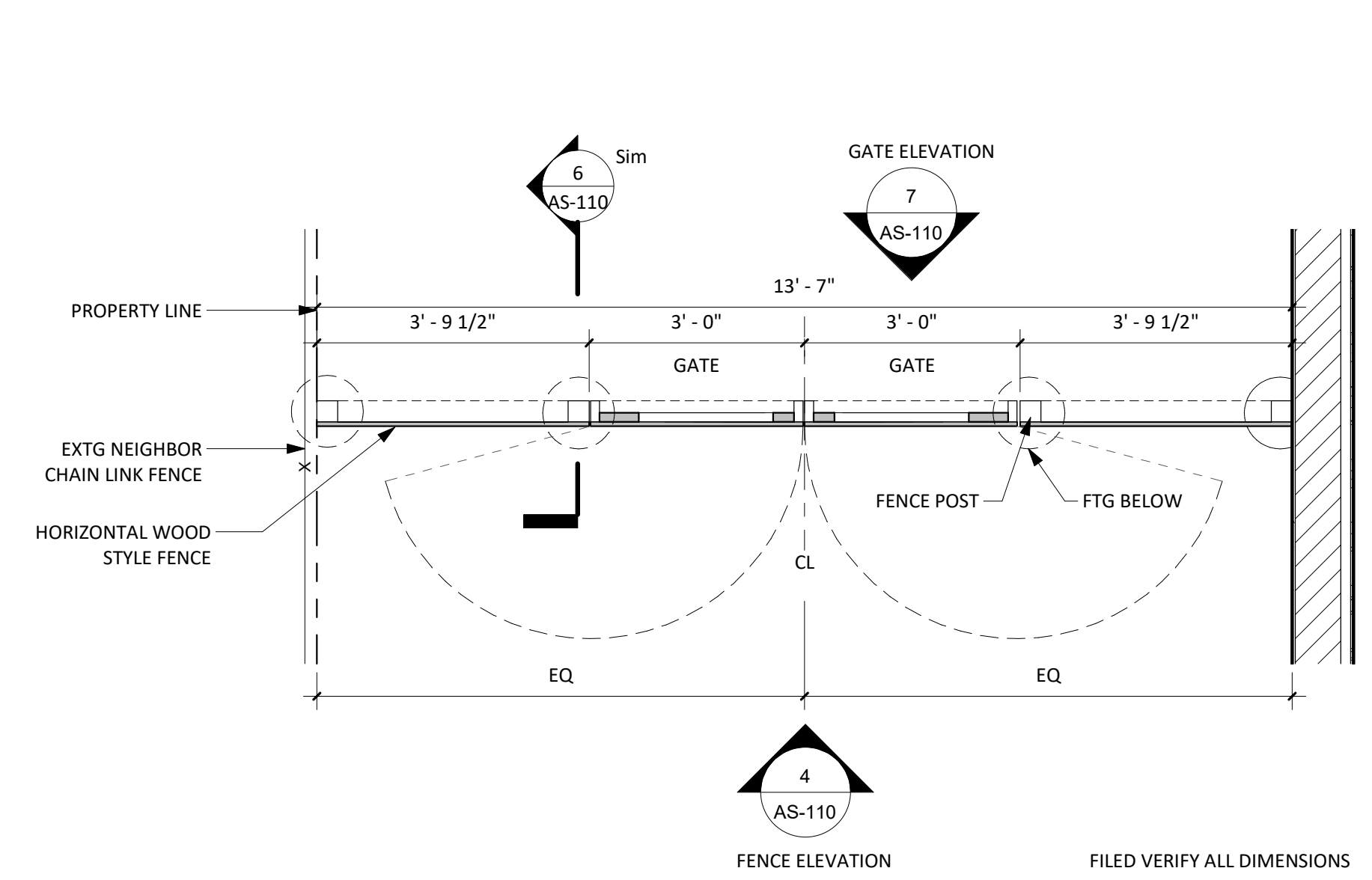
**FENCE NOTES:**

- FENCING NOTES:**
1. ALL FRAMING TO BE PT WOOD.
  2. ATTACH COMPOSITE WD TO PT WD WITH 3" COMPOSITE DECK SCREWS COLOR MATCHED.
  3. COMPOSITE WD BOD: TREX SELECT COMPOSITE DECKING, 1X6, SQUARE EDGE, COLOR TBD. OR APPROVED EQUALS.

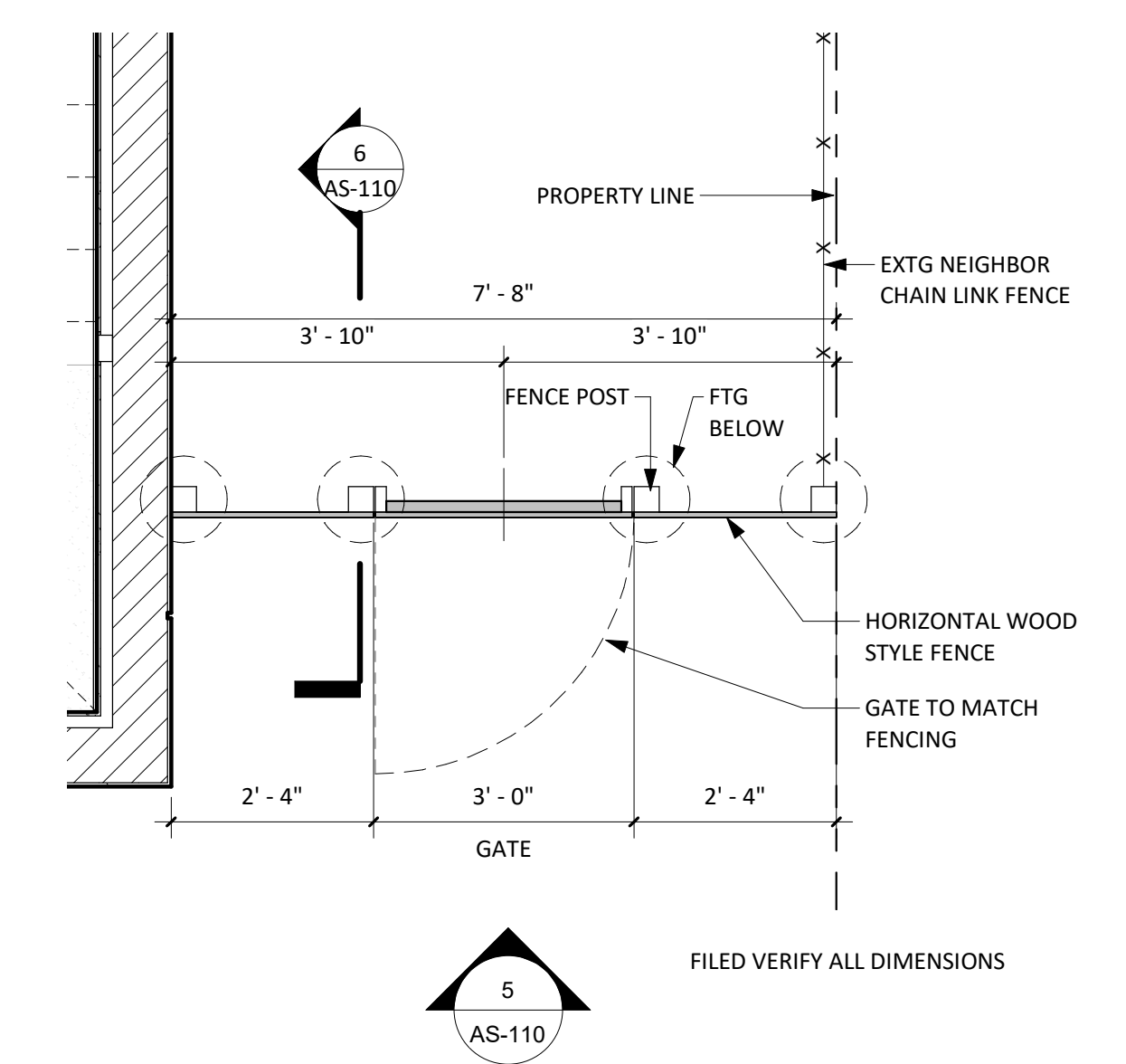
SITE PLAN DATA			
ADDRESS:	VACANT LOT #673 XXX WEST 1ST STREET (ADDRESS NOT ASSIGNED) RIVIERA BEACH, FL 33404		
PCN #:	5643423208006730		
ZONING:	RS-8 MULTIFAMILY DWELLING DISTRICT, PER RIVIERA BEACH, FL. CODE OF ORDINANCES:		
FLOOD ZONE:	PROPERTY IS LOCATED IN FLOOD ZONE X. PER F.I.R.M. PANEL 389, NO. 125142, DATED OCTOBER 5TH 2017, FEMA.		
	REQUIRED	ACTUAL	COMMENTS
MINIMUM PROPERTY SIZE:	5,000 SF	5,000 SF	
MIN. PROPERTY WIDTH:	50'	50'	
MIN. BUILDING HEIGHT:	35'	22'	
MIN. BUILDING SETBACKS:			
FRONT:	20'	26'-8" & 38'	
SIDE:	7'	7'-8" & 13'-8"	
REAR:	15'	28'-0"	15 PERCENT OF THE LENGTH OF THE LOT; NEED NOT BE MORE THAN 20 FEET.
BUILDING FLOOR AREA:	800 SF/MIN.	1,595 SF	EXCLUSIVE OF ATTACHED GARAGES, CARPORTS, TERRACES, BREEZEWAYS AND PORCHES.
IMPERVIOUS:	NONE	1,563 SF (32%)	756 SF (BLDG FOOTPRINT) + 282 SF (GARAGE) + 287 SF (DRIVEWAY)
PERVIOUS:	NONE	3,437 SF (68%)	180 SF (PORCHES & LANAI) + 58 SF (SIDEWALKS)
SITE SURVEY	REFER TO SURVEY BY PM SURVEY		



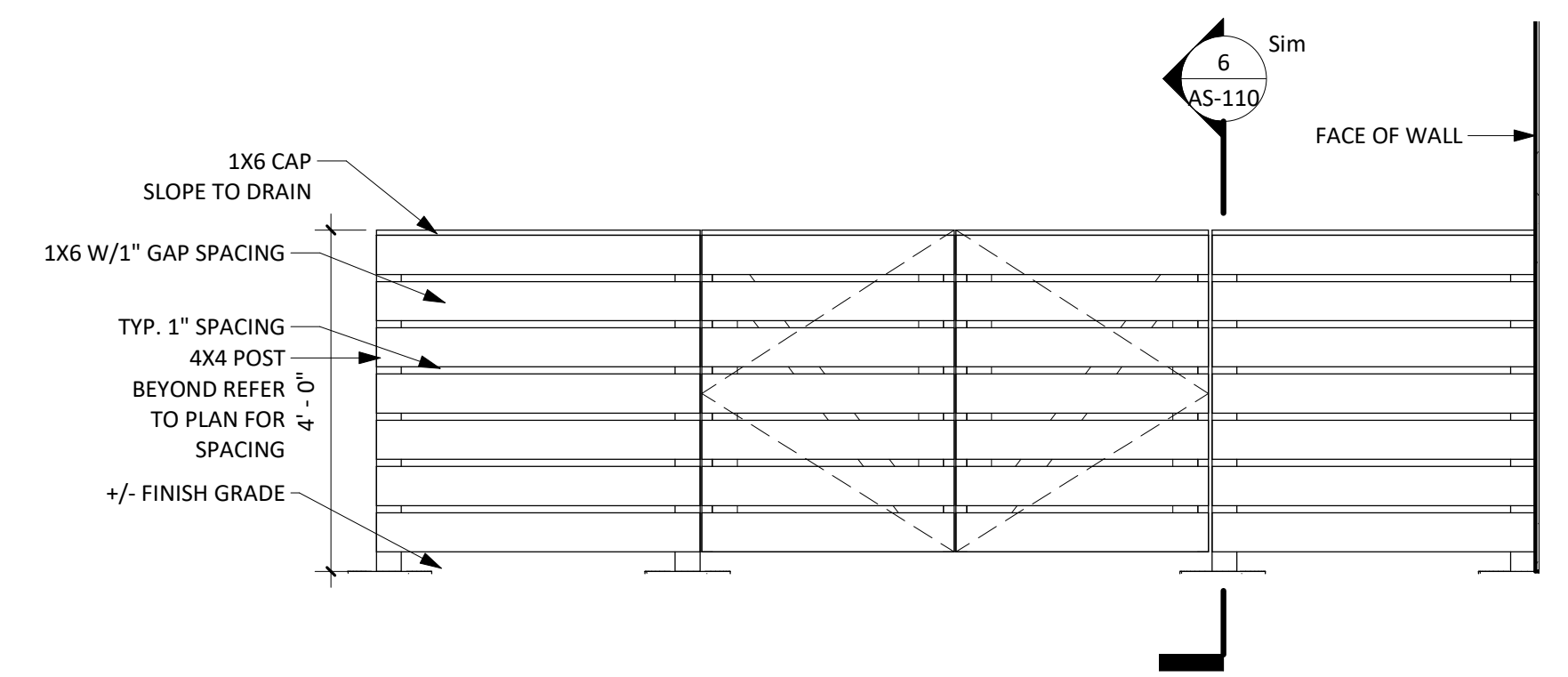
**1 SITE PLAN**  
AS-110 1" = 10'-0"



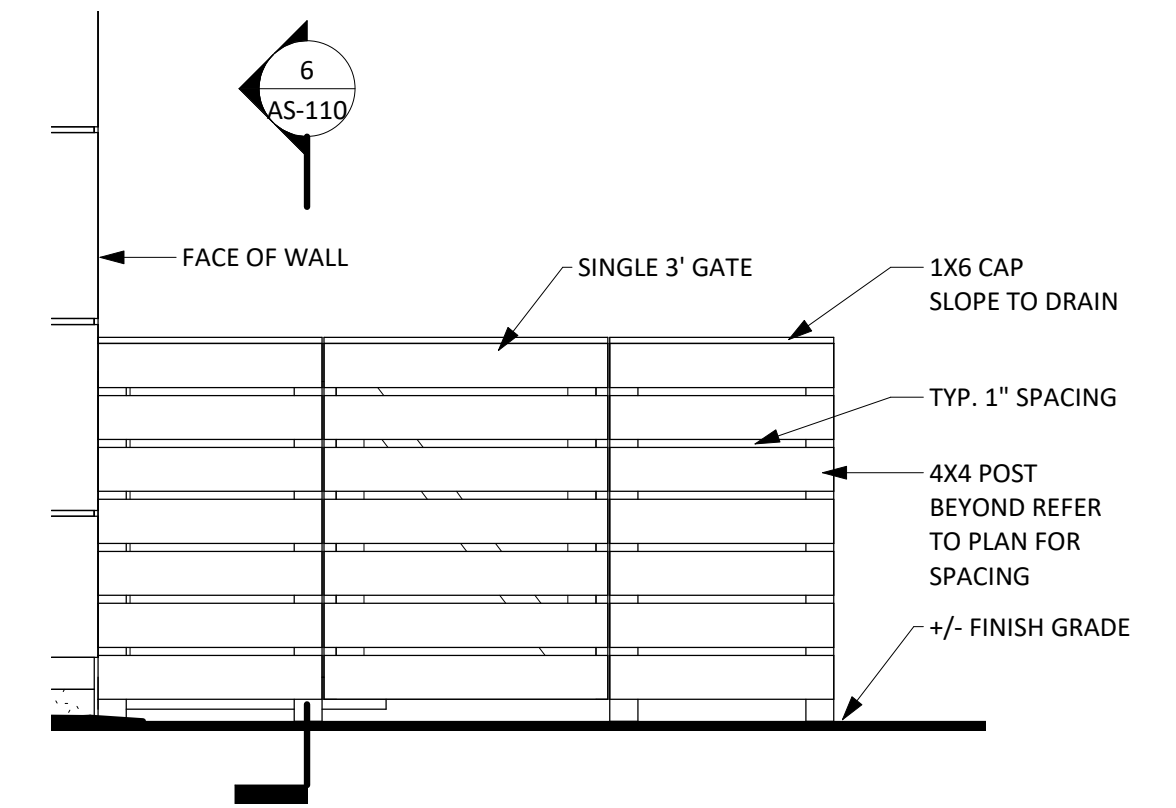
**2 FENCE PLAN WEST**  
AS-110 1/2" = 1'-0"



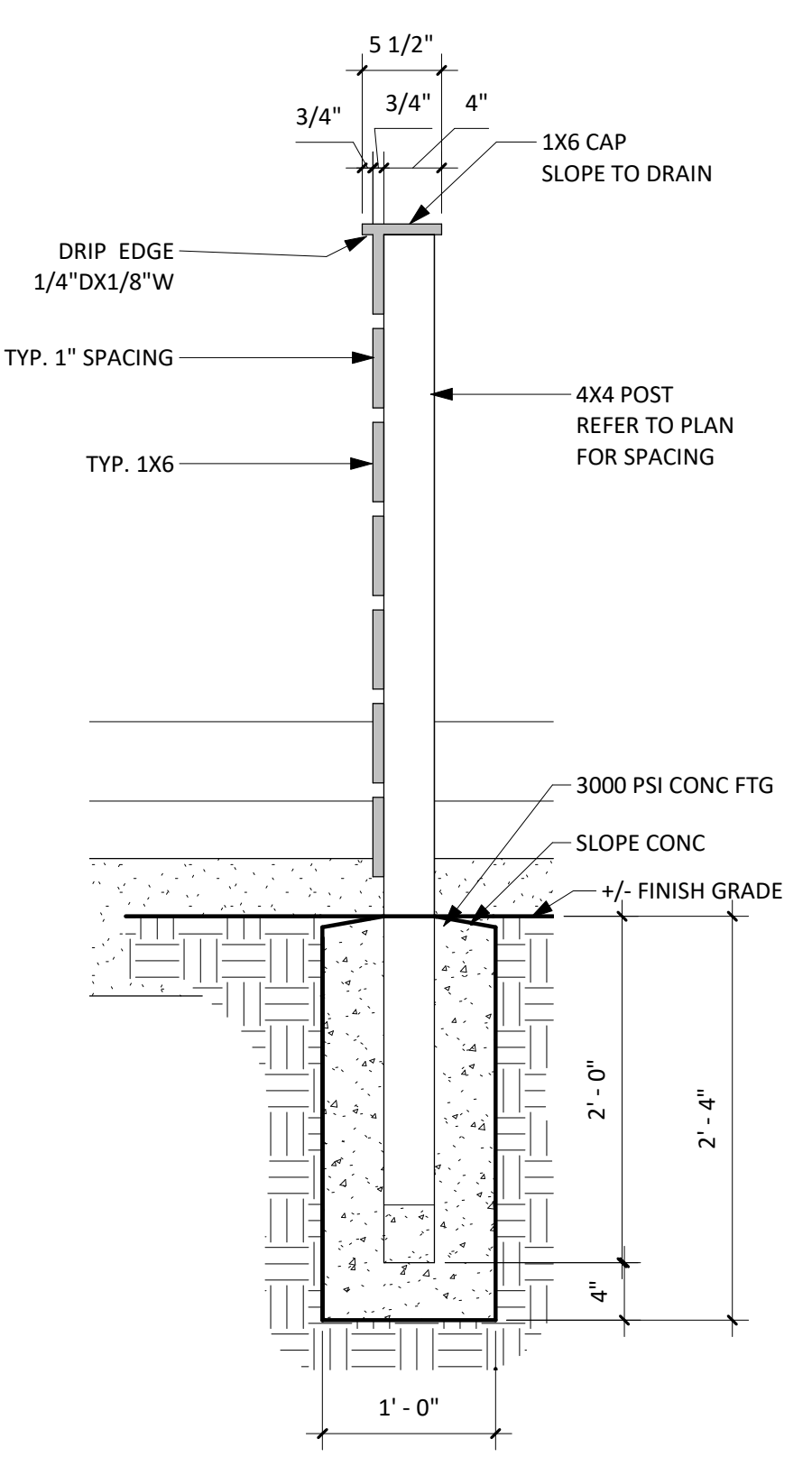
**3 FENCE PLAN EAST**  
AS-110 1/2" = 1'-0"



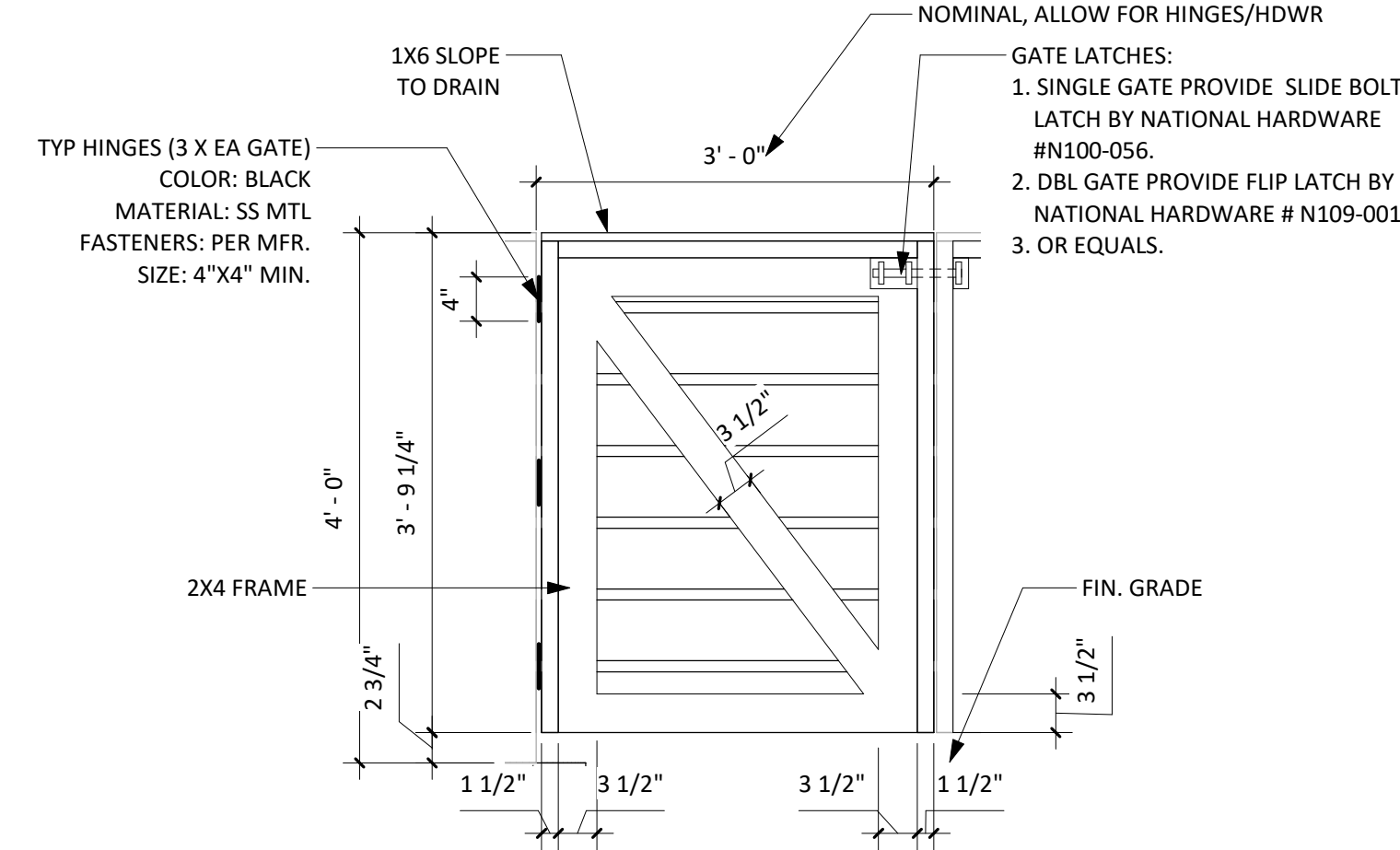
**4 FENCE ELEVATION WEST**  
AS-110 1/2" = 1'-0"



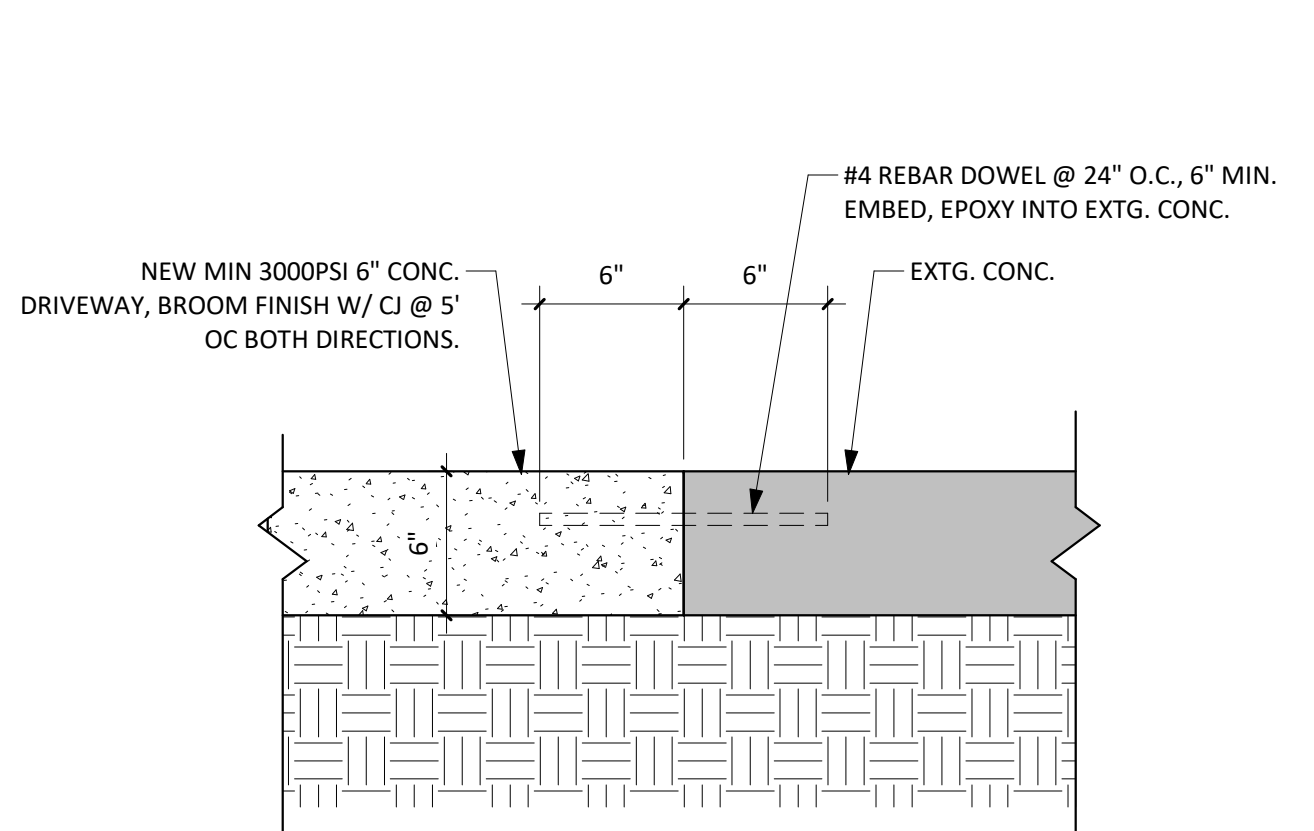
**5 FENCE ELEVATION EAST**  
AS-110 1/2" = 1'-0"



**6 TYP. FENCE SECTION - W**  
AS-110 1" = 1'-0"



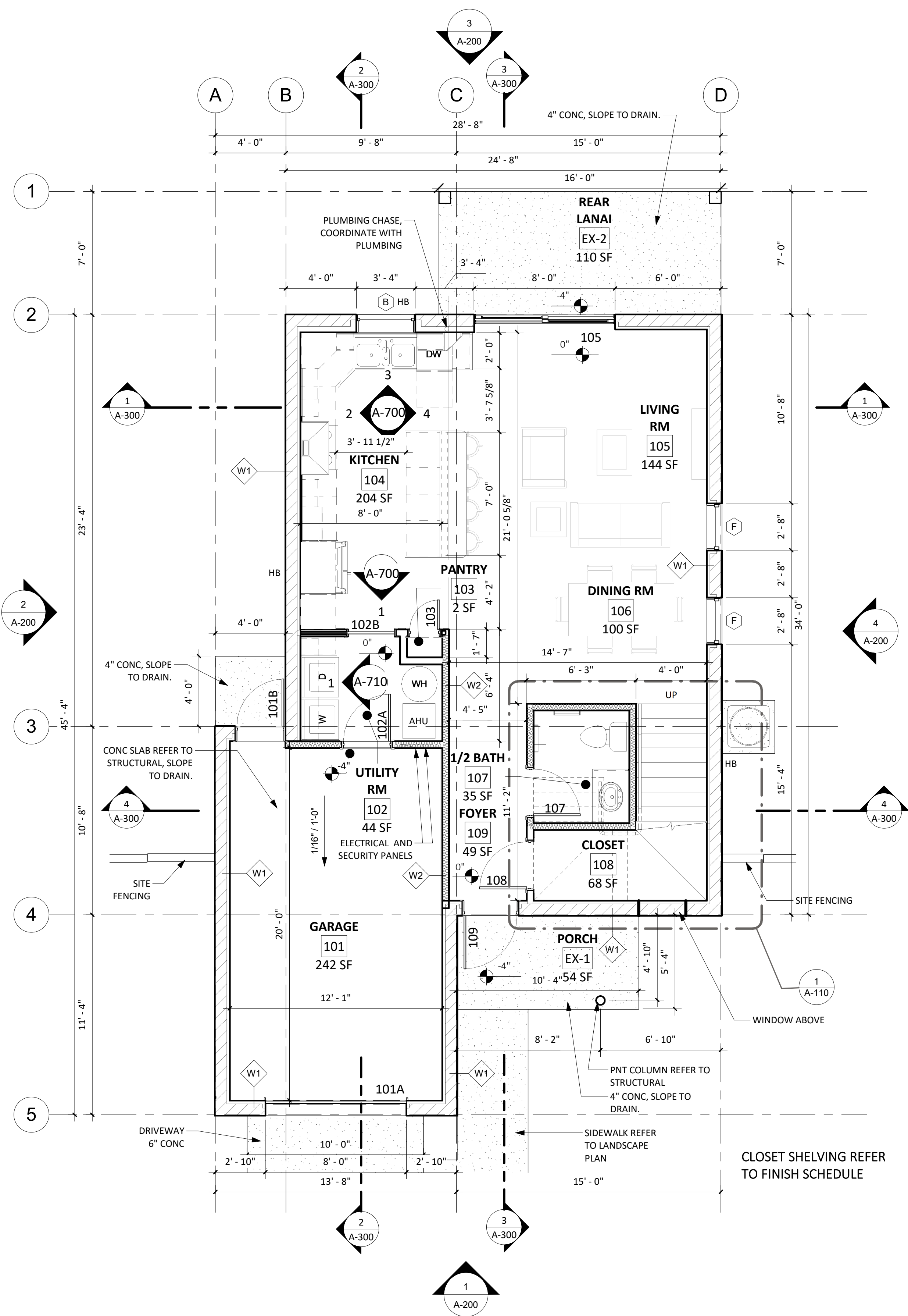
**7 TYP. GATE ELEVATION**  
AS-110 3/4" = 1'-0"



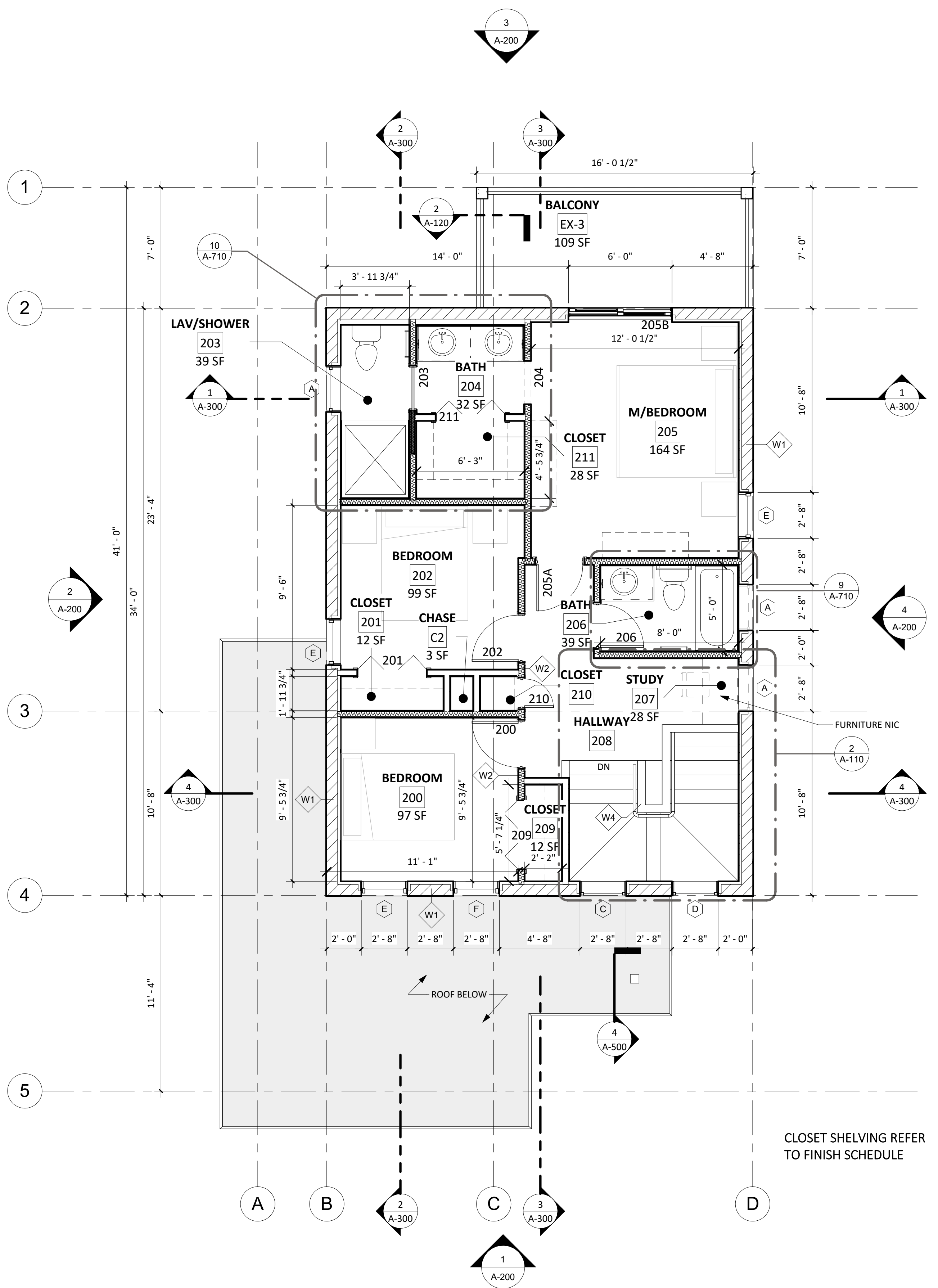
**10 DETAILS - SITE CONC**  
AS-110 1 1/2" = 1'-0"

<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>		<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>	
DRAWN BY: Author CHECKED BY: Checker DQS PN#: 1713 DATE: 06.22.18	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#      REVISION      DATE	
		<b>SITE PLAN &amp; FENCE DETAILS</b> <b>AS-110</b>	

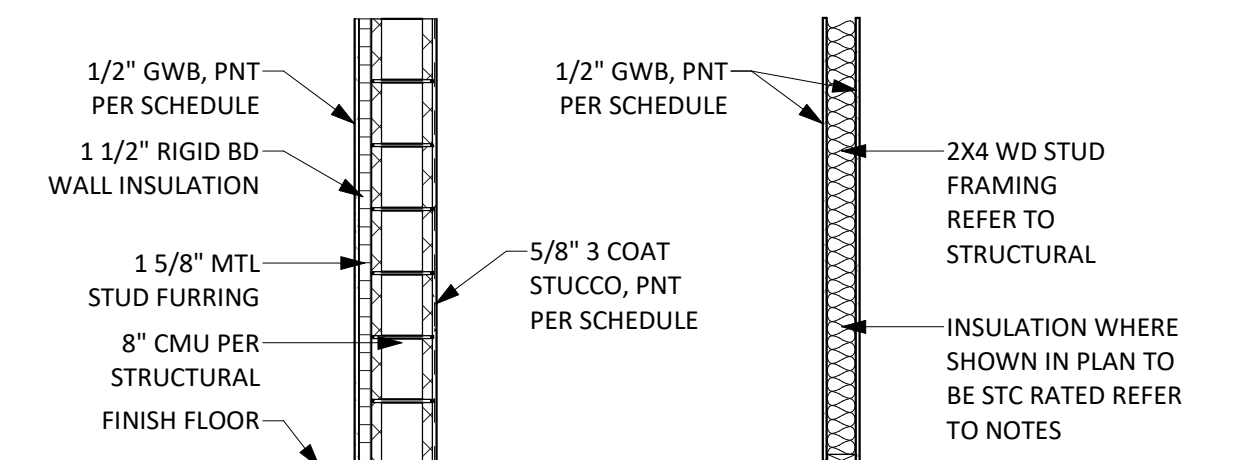




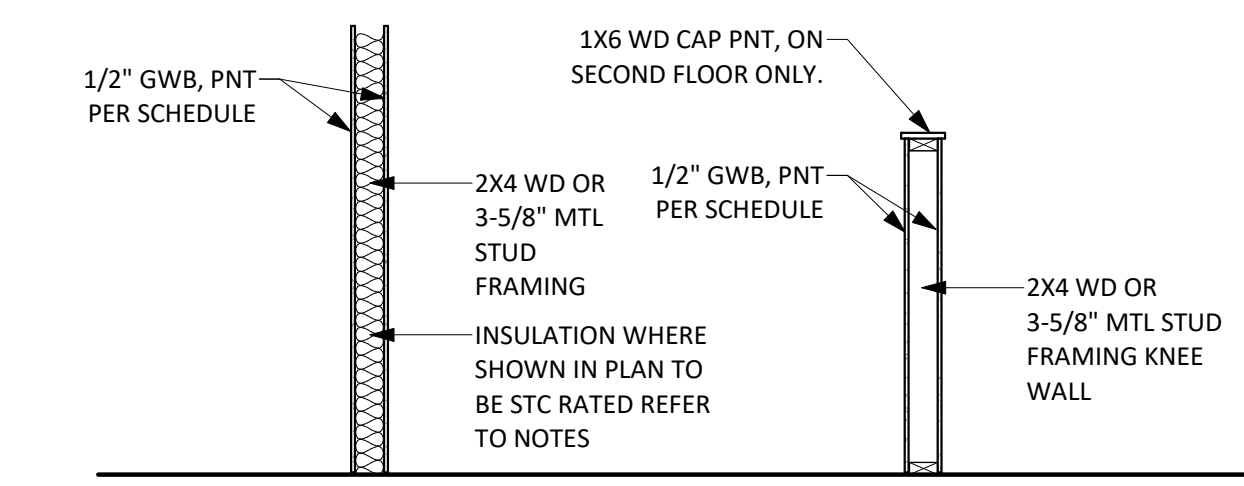
1 1ST FLOOR PLAN  
1/4" = 1'-0"



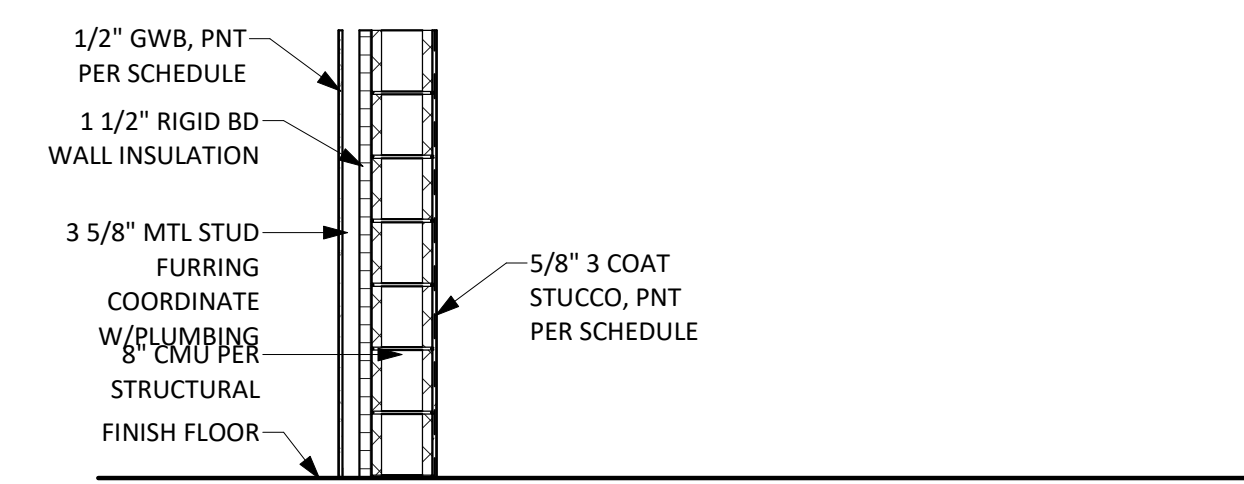
2 2ND FLOOR  
1/4" = 1'-0"



TYP. EXTERIOR WALL



INTERIOR WALL



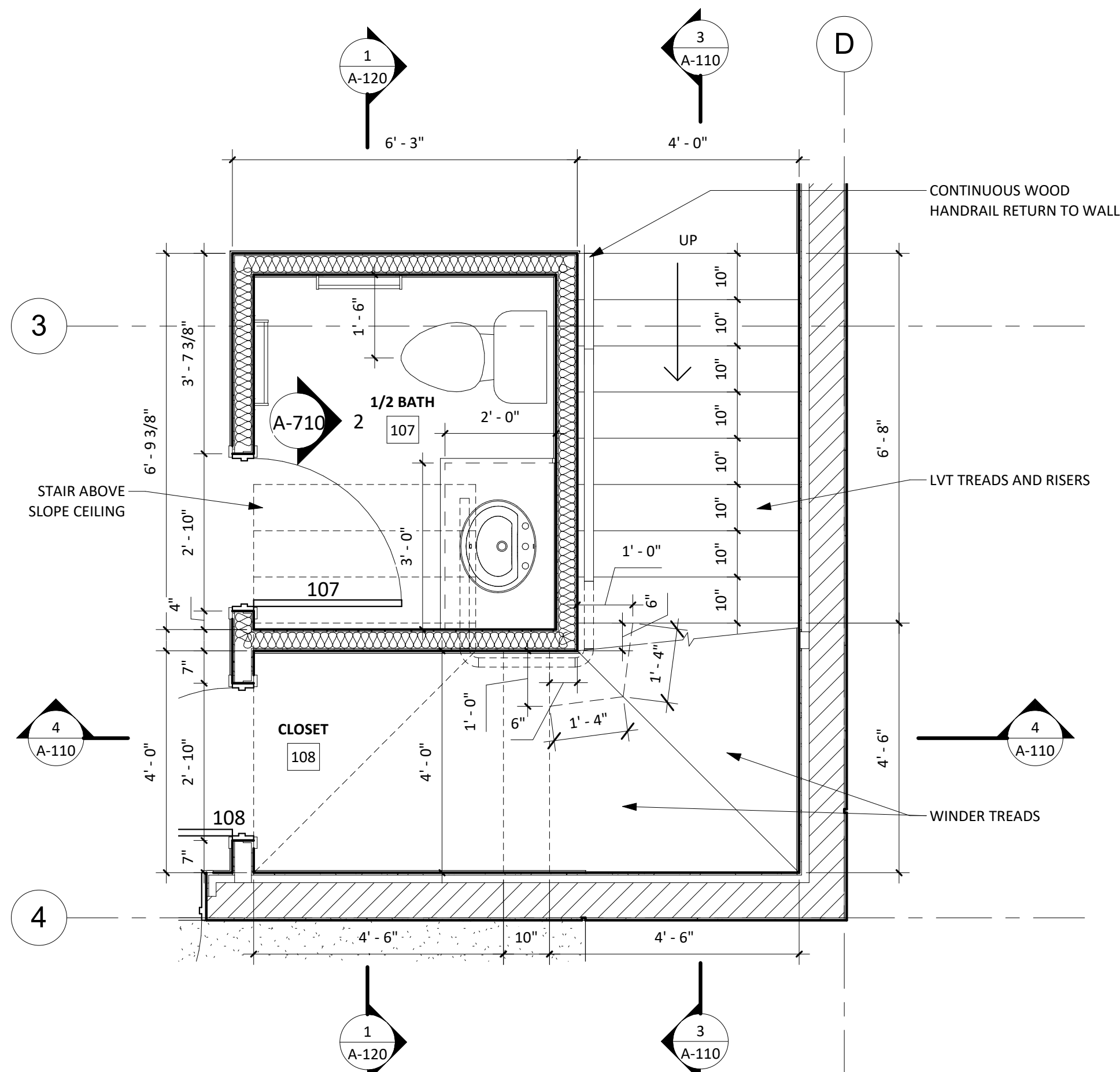
EXTERIOR WALL - KITCHEN PLUMBING CHASE

- INSULATION NOTES:
- ROOF R-30 MIN.:  
A. UNDERSIDE OF ROOF SHEATHING R-5 CLOSED CELL RIGID BOARD BOD: XPS INSULATION FOAMULAR 250  
B. FIBERGLASS BATT BOD: OWENS CORNING ECOTOUCH PINKFIBERGLAS UNFACED INSULATION OR EQUAL
  - EXTERIOR WALLS R-7.5 MIN.: OWENS CORNING 1 1/2" FOAMULAR 250 XPS RIGID FOAM INSULATION OR EQUAL
  - INTERIOR WALLS WHERE NOTED STC RATED 50 MIN.: OWENS CORNING 3 1/2" ECOTOUCH SOUND ATTENUATION BATTS OR EQUAL

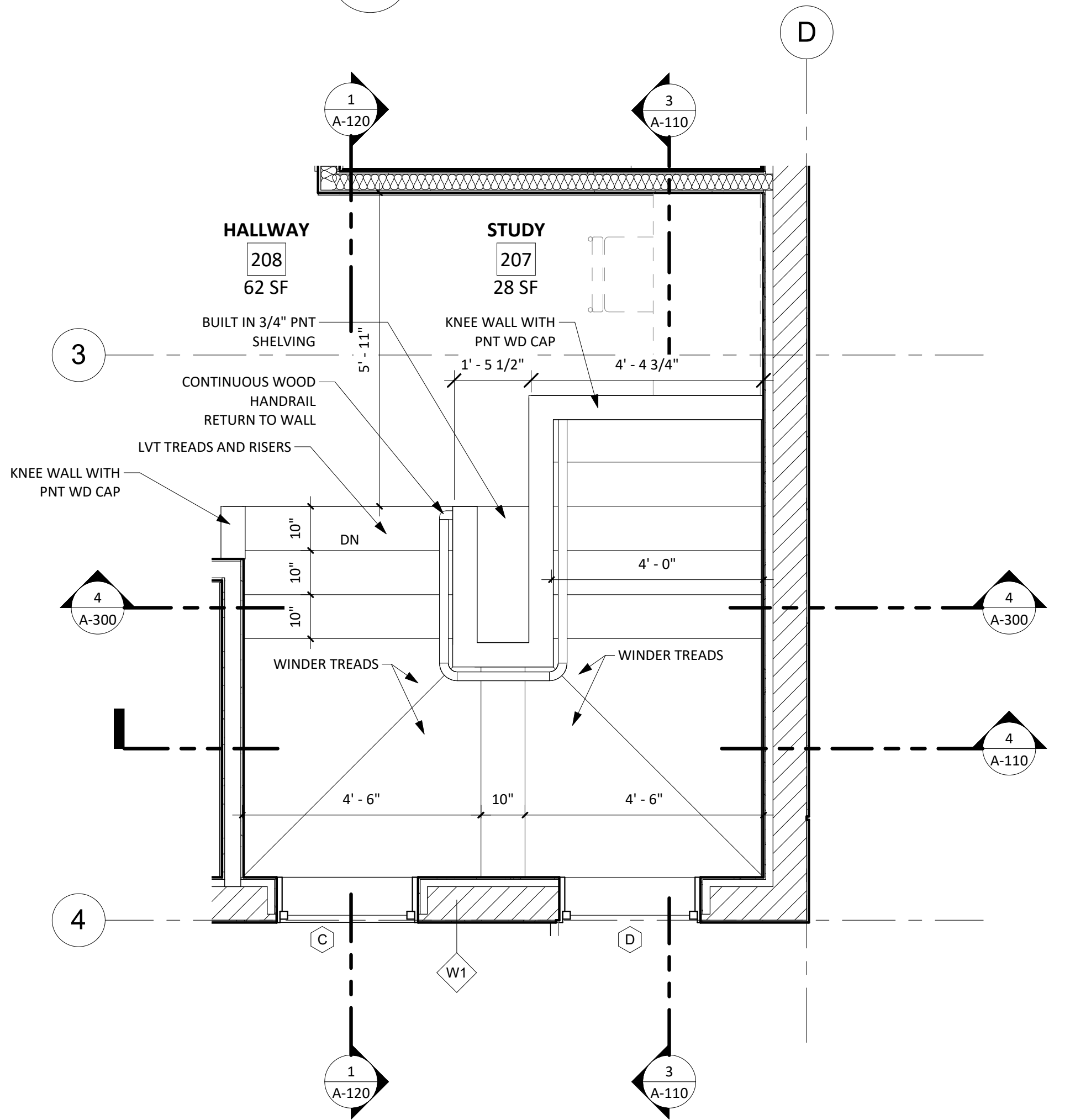
WALL TYPES  
SCALE: 1/2" = 1'-0"

<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>			
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY: JQ	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY: DD			DATE
DQS PN#: 1713			
DATE: 06.22.18			
<small>LICENSE   AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P: (786) 298-1322 F: (305) 223-6574 WWW.D-Q-S.COM</small>		<b>1ST &amp; 2ND FLOOR PLANS</b>	
<small>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&amp;Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&amp;Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&amp;Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</small>		<b>PERMIT SET</b>  <h1 style="margin: 0;">A-100</h1>	

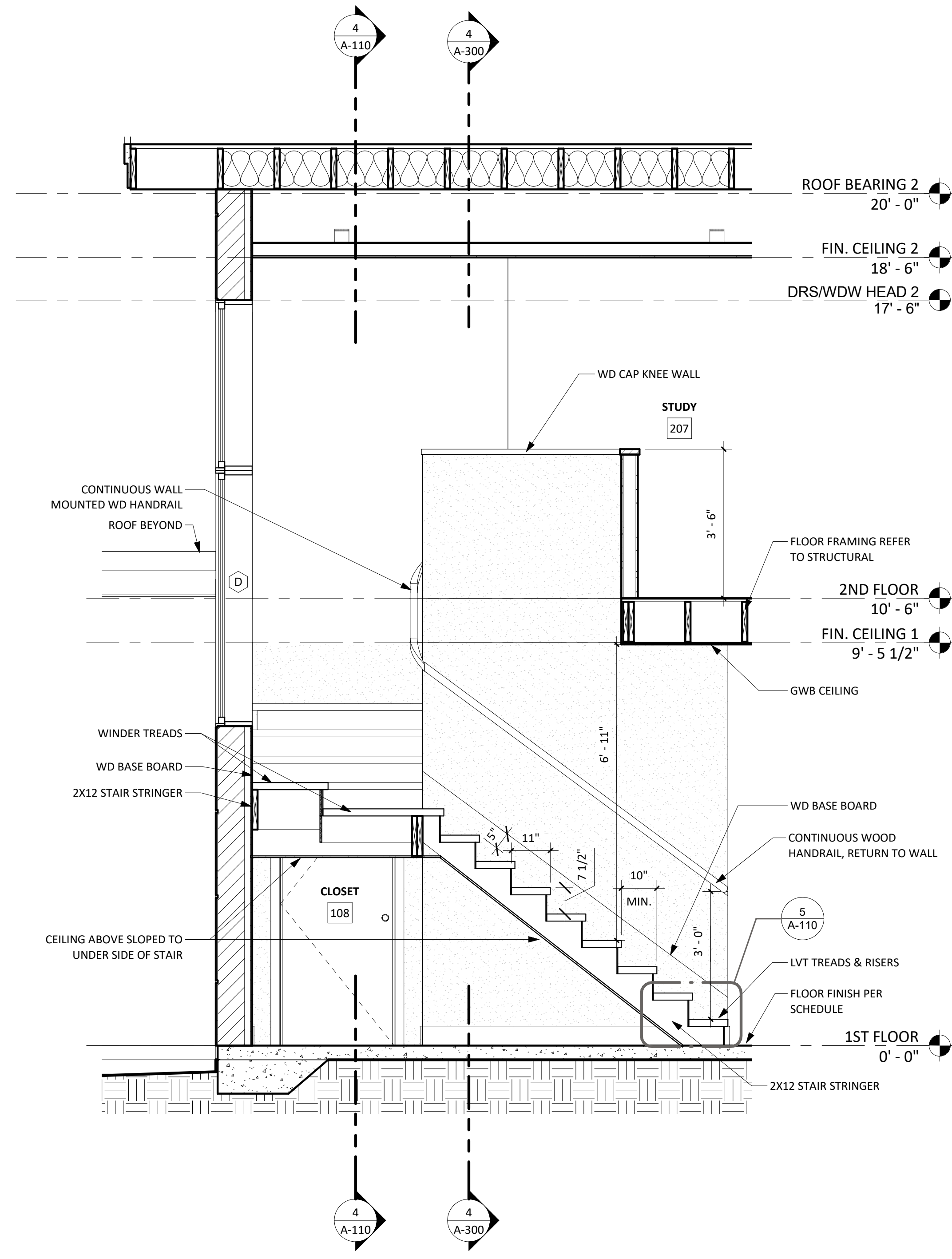




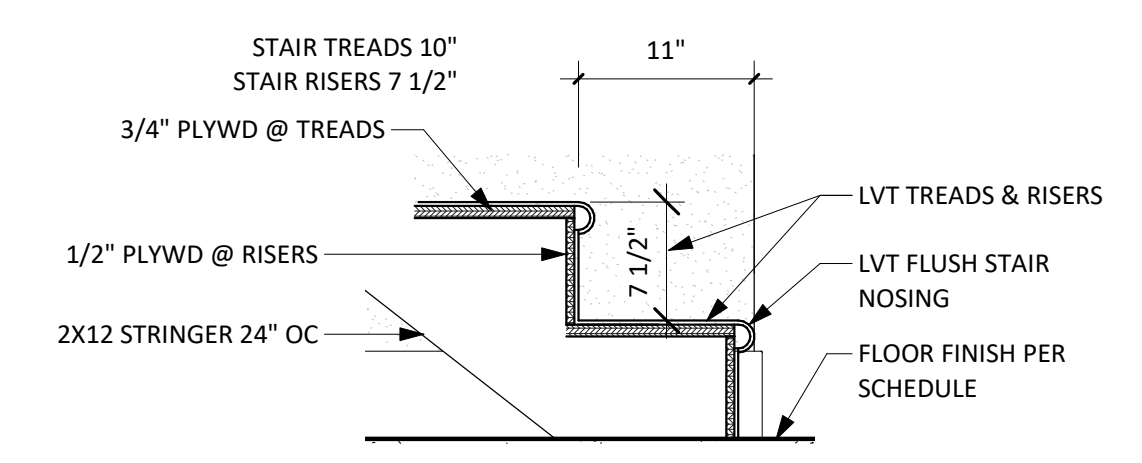
**1 1ST FLOOR STAIRS**  
A-110 1/2" = 1'-0"



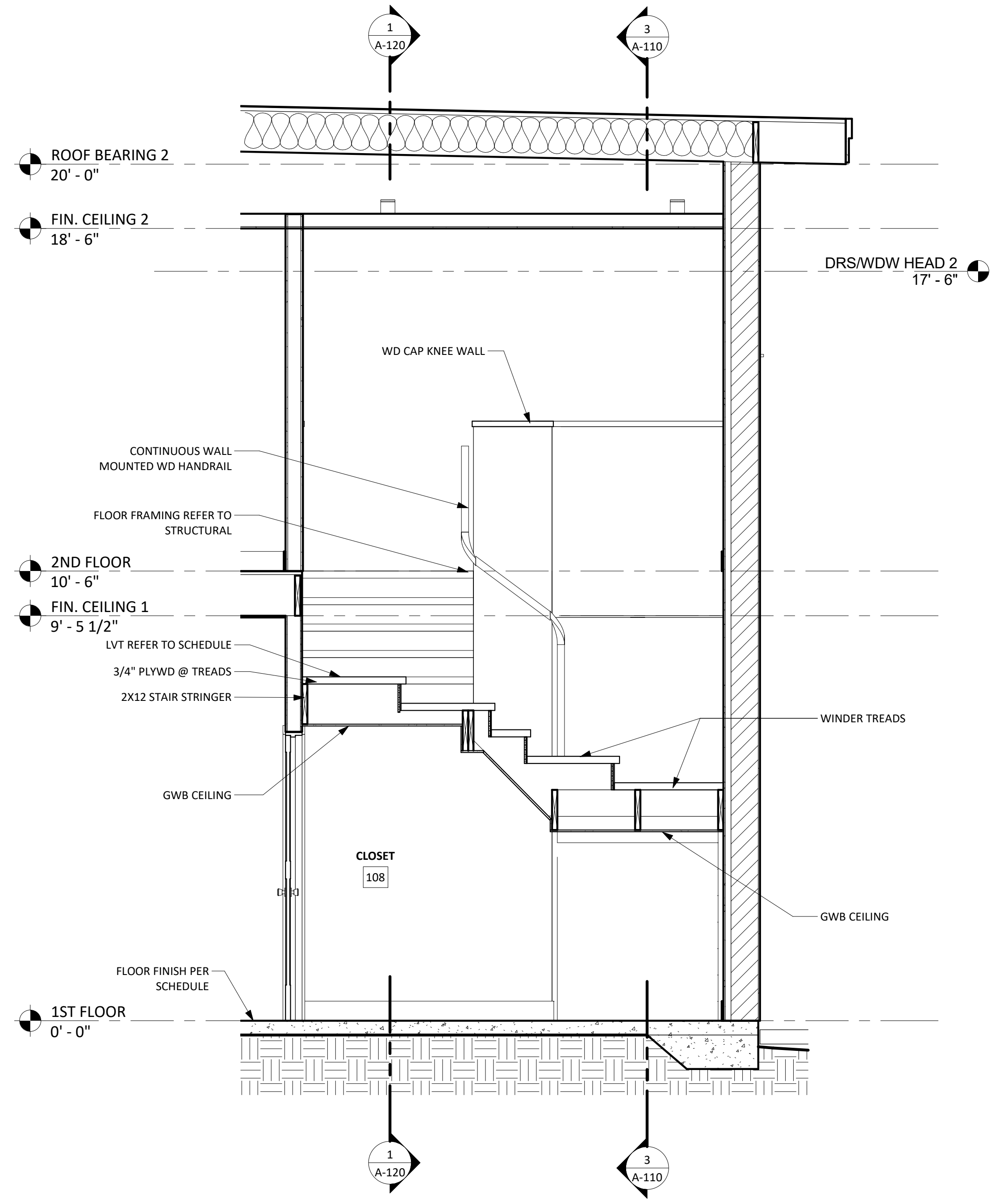
**2 2ND FLOOR STAIRS**  
A-110 1/2" = 1'-0"



**3 STAIR SECTION 01**  
A-110 1/2" = 1'-0"



**5 TYP. STAIR SECTION**  
A-110 1" = 1'-0"



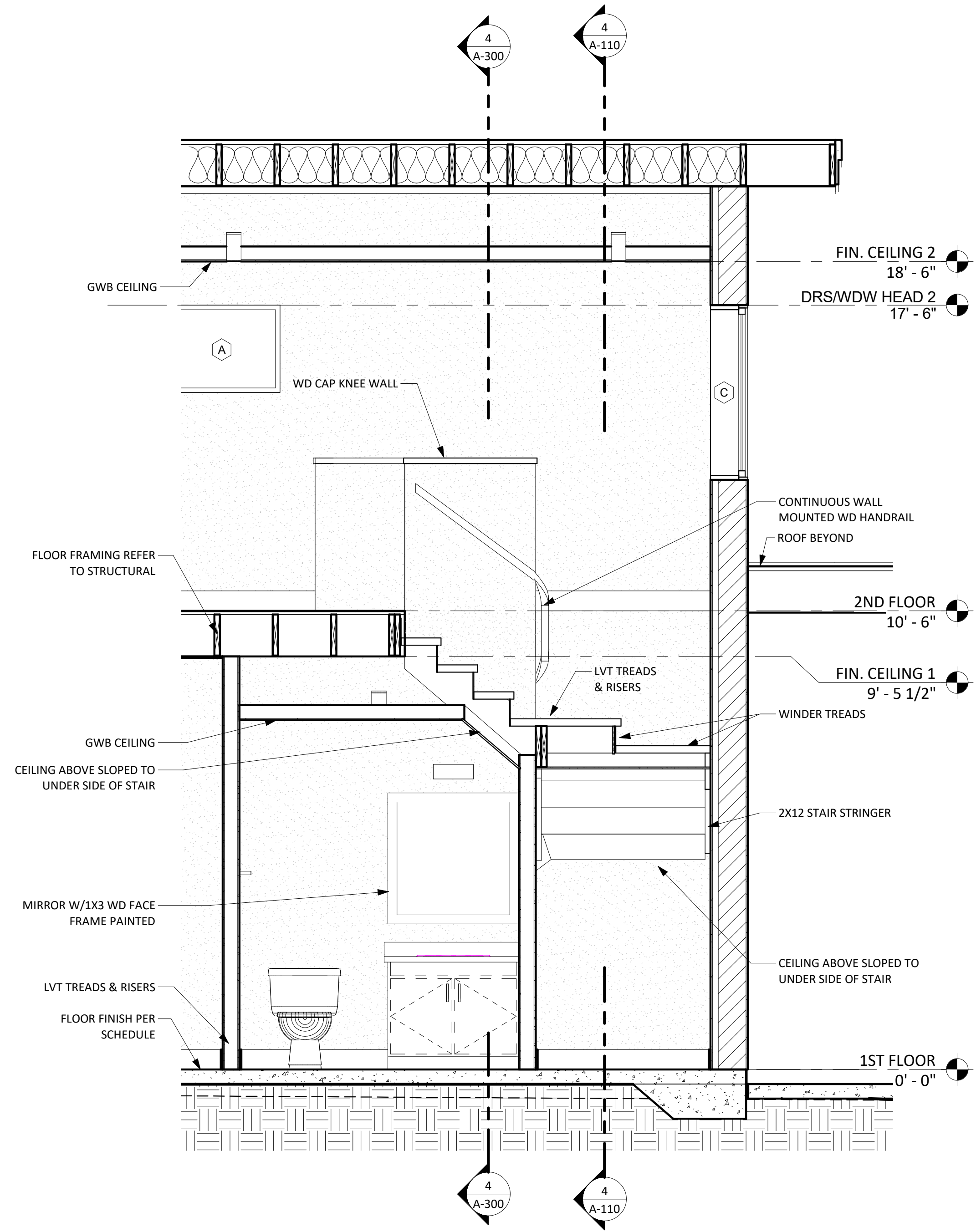
**4 STAIR SECTION 02**  
A-110 1/2" = 1'-0"

**STAIR GENERAL NOTES**

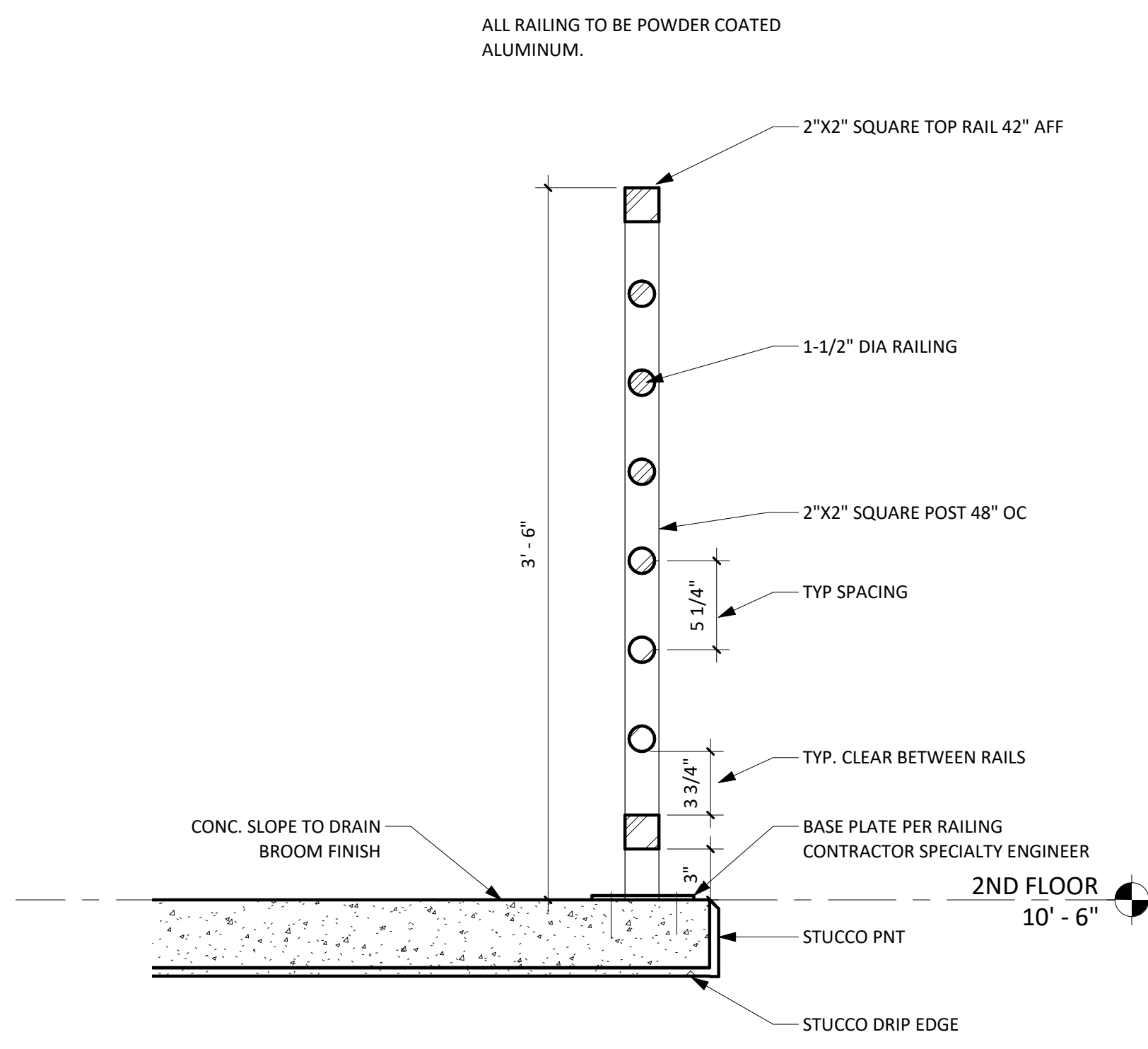
1. UNDER-STAIR PROTECTION SHALL BE MIN 1/2-INCH GWB PAINTED.
2. CONTINUOUS WOOD HANDRAIL TO BE 1-1/2" DIA. BOTTOM FLAT PROFILE TO ACCEPT WALL MOUNT BRACKETS, WOOD MAPLE, FINISH NATURAL STAIN AND POLYURETHANE CLEAR COAT.
3. HANDRAIL BRACKETS BOD: RICHELIEU #9720 OR EQUAL.
4. HANDRAIL TO HAVE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.

<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>				
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>				
DRAWN BY: Author CHECKED BY: DQS PN#: 1713 DATE: 06.22.18	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION	DATE
		<b>ENLARGED STAIR PLAN, SECTIONS AND DETAILS</b>		PERMIT SET <b>A-110</b>




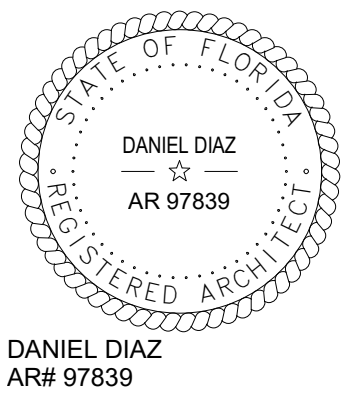


**1** STAIR SECTION 03  
A-120 1/2" = 1'-0"

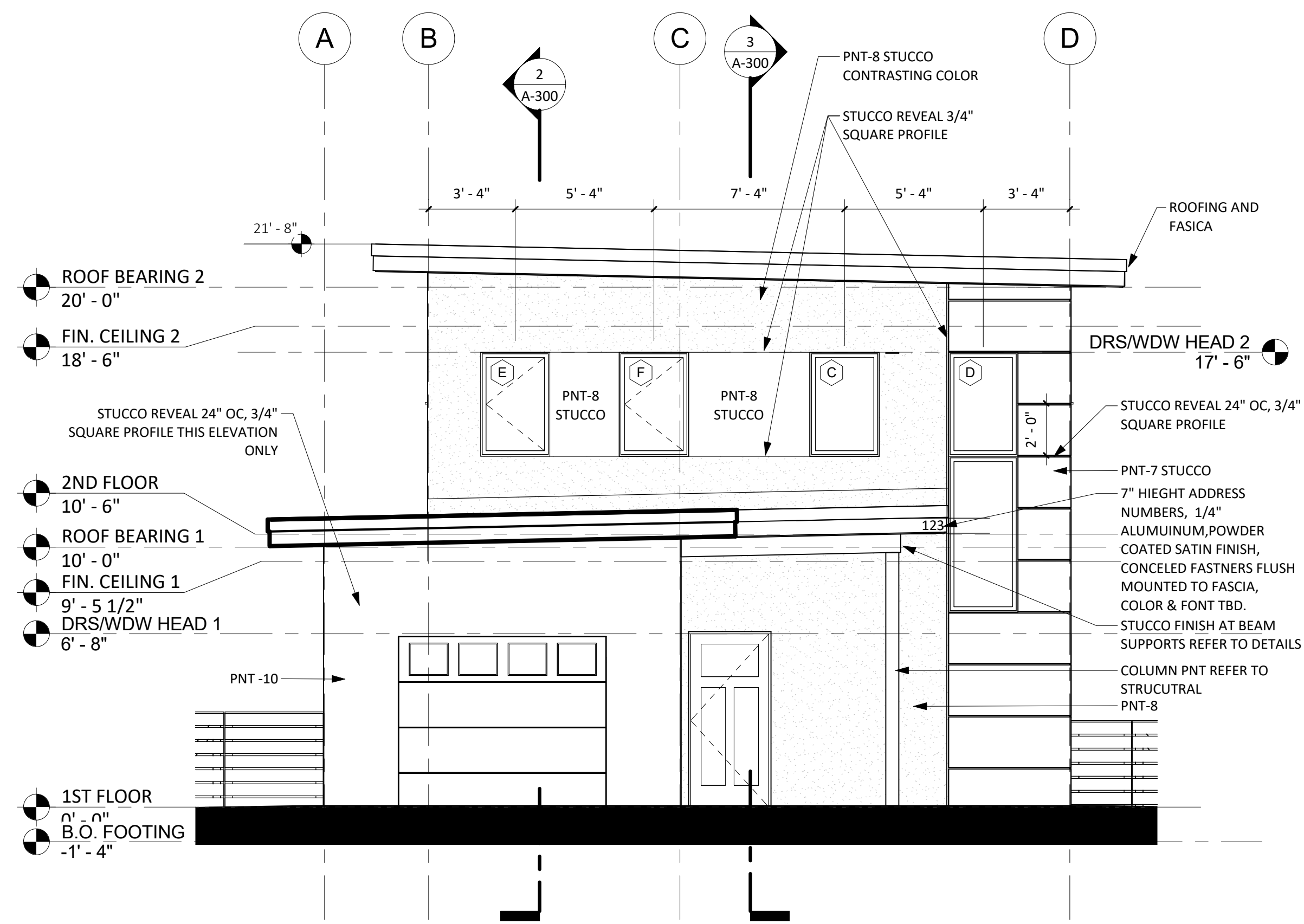


**2** BALCONY RAIL DETAIL  
A-120 1 1/2" = 1'-0"

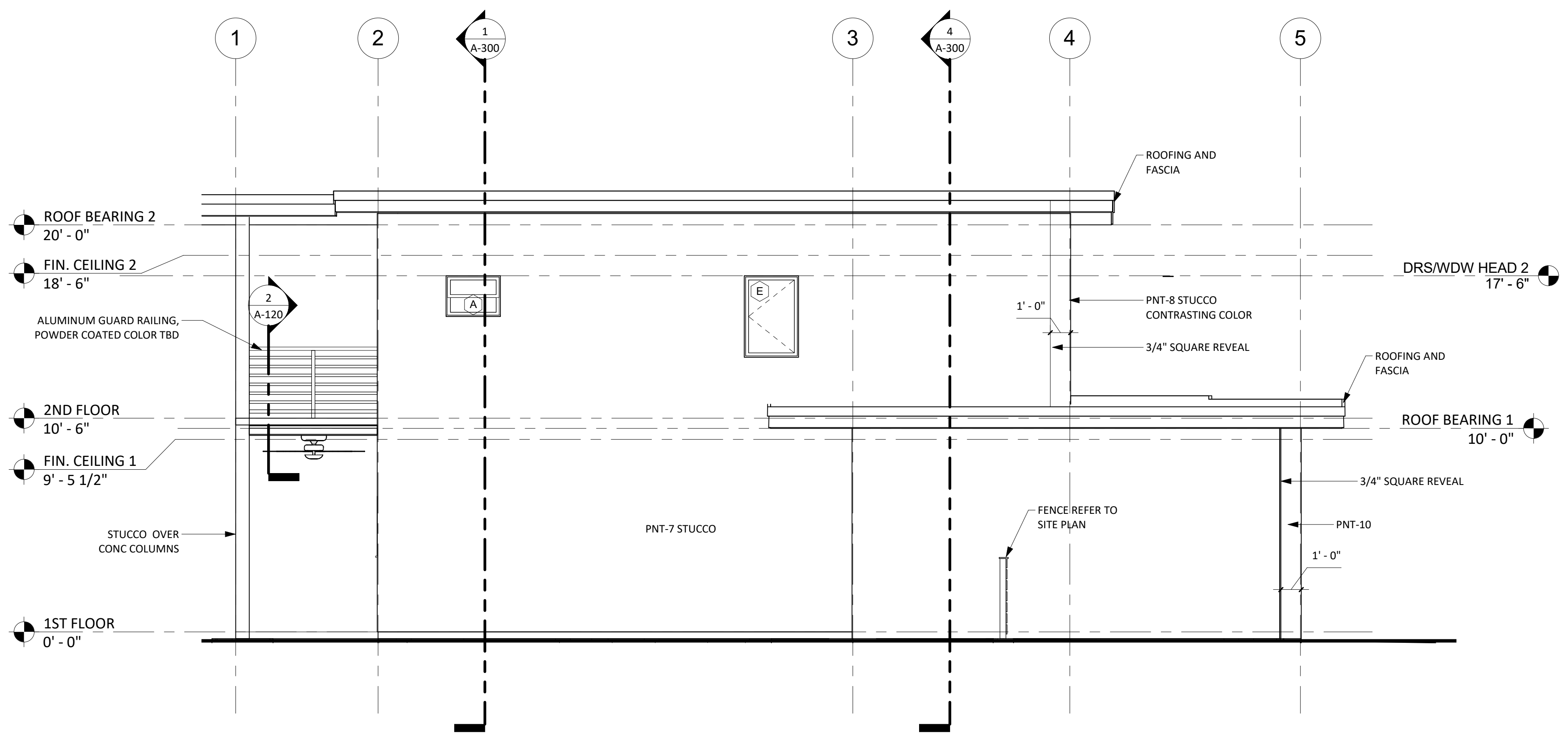
6/22/2018 11:15:03 AM

<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b> <b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY: Author	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY: Checker			DATE
DQS PN#: 1713			
DATE: 06.22.18			
			
LICENSE 1 AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P (786) 239-1322 F (305) 223-6574 WWW.D-Q-S.COM		<b>STAIR SECTIONS</b>	
© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.		PERMIT SET	
		<b>A-120</b>	

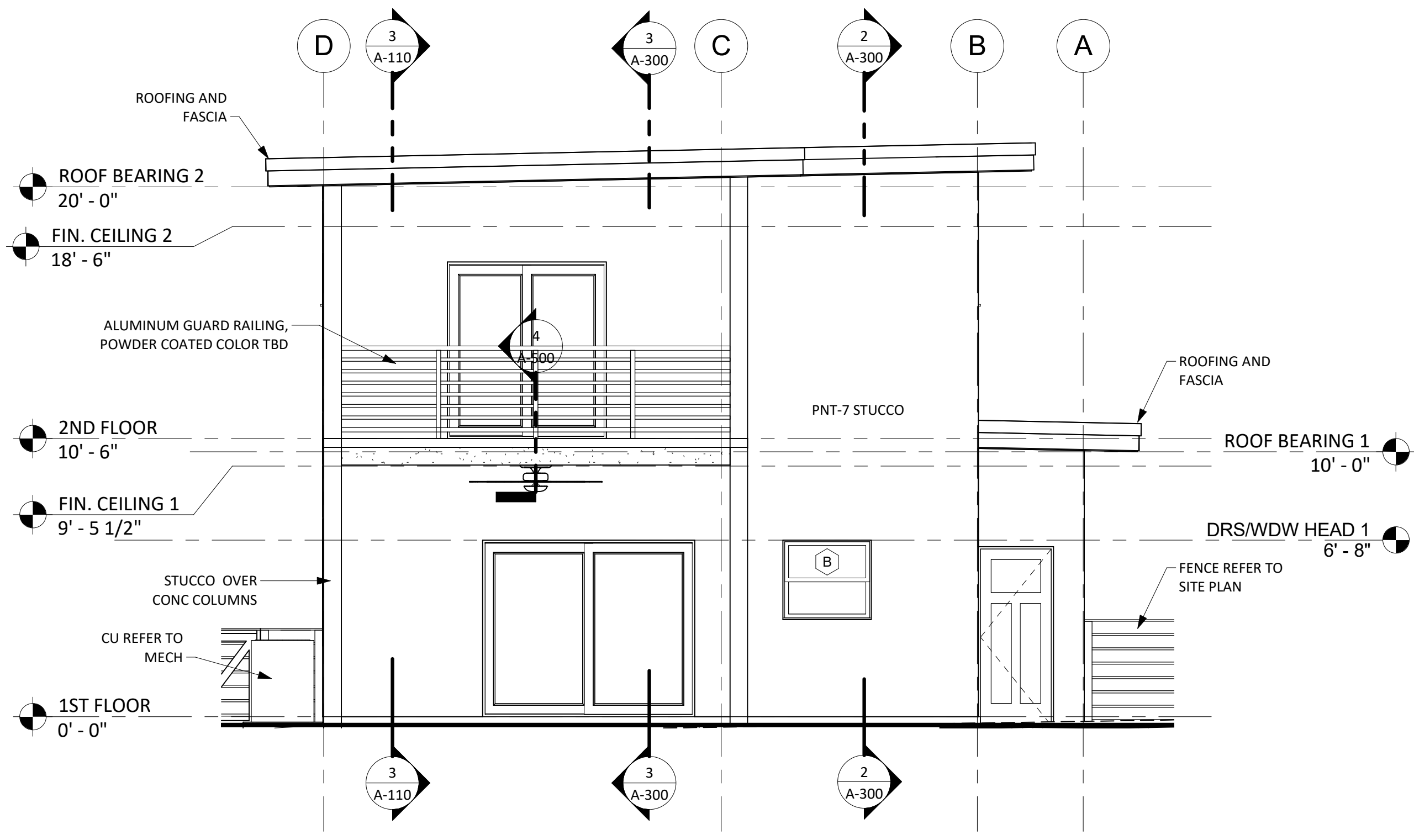




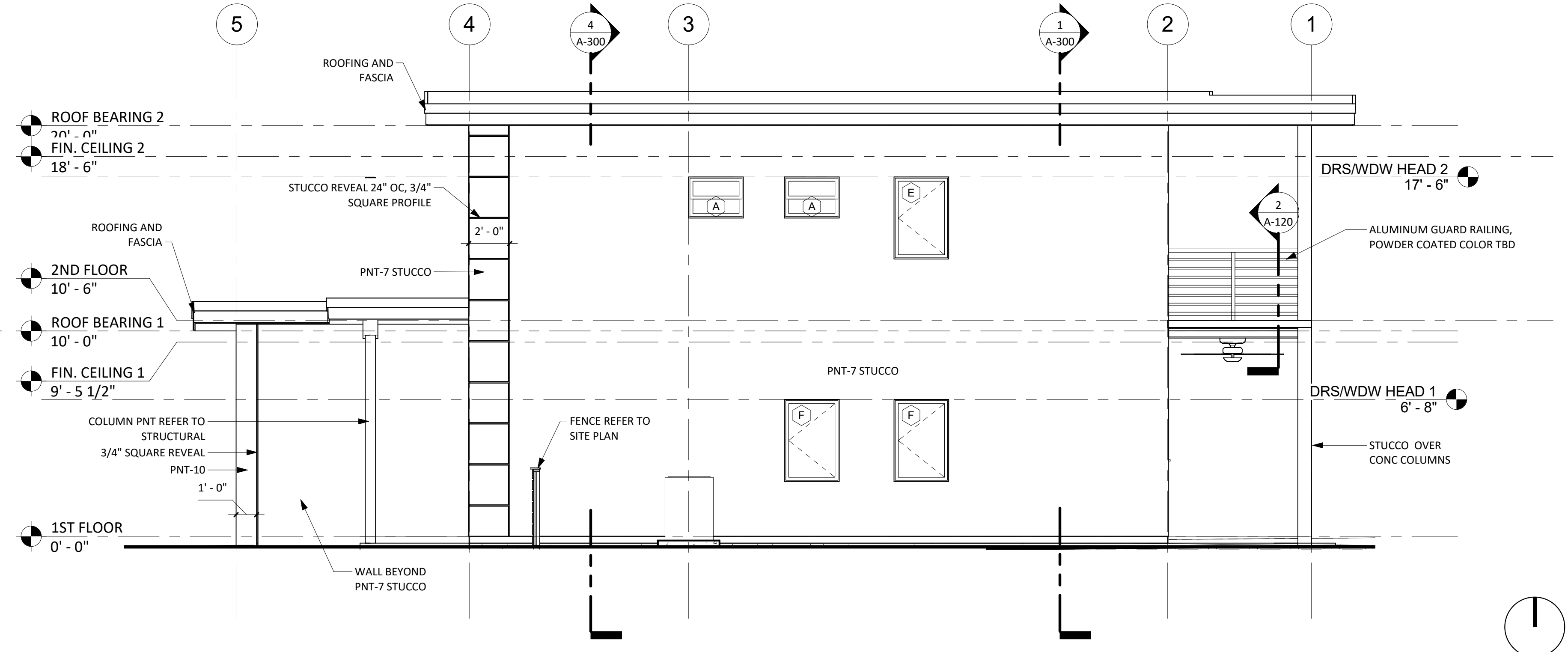
1 SOUTH ELEVATION  
A-200 1/4" = 1'-0"



2 WEST ELEVATION  
A-200 1/4" = 1'-0"



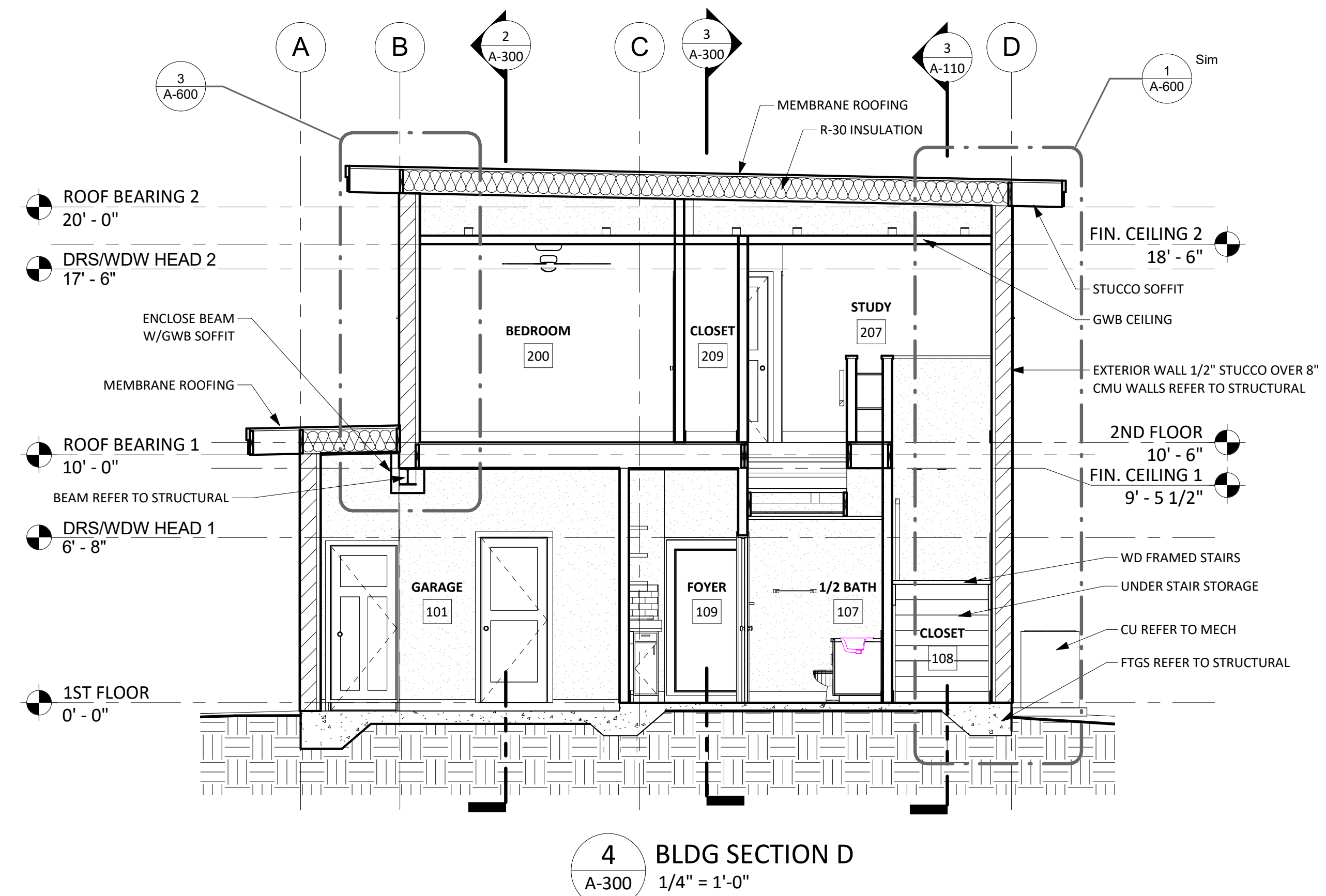
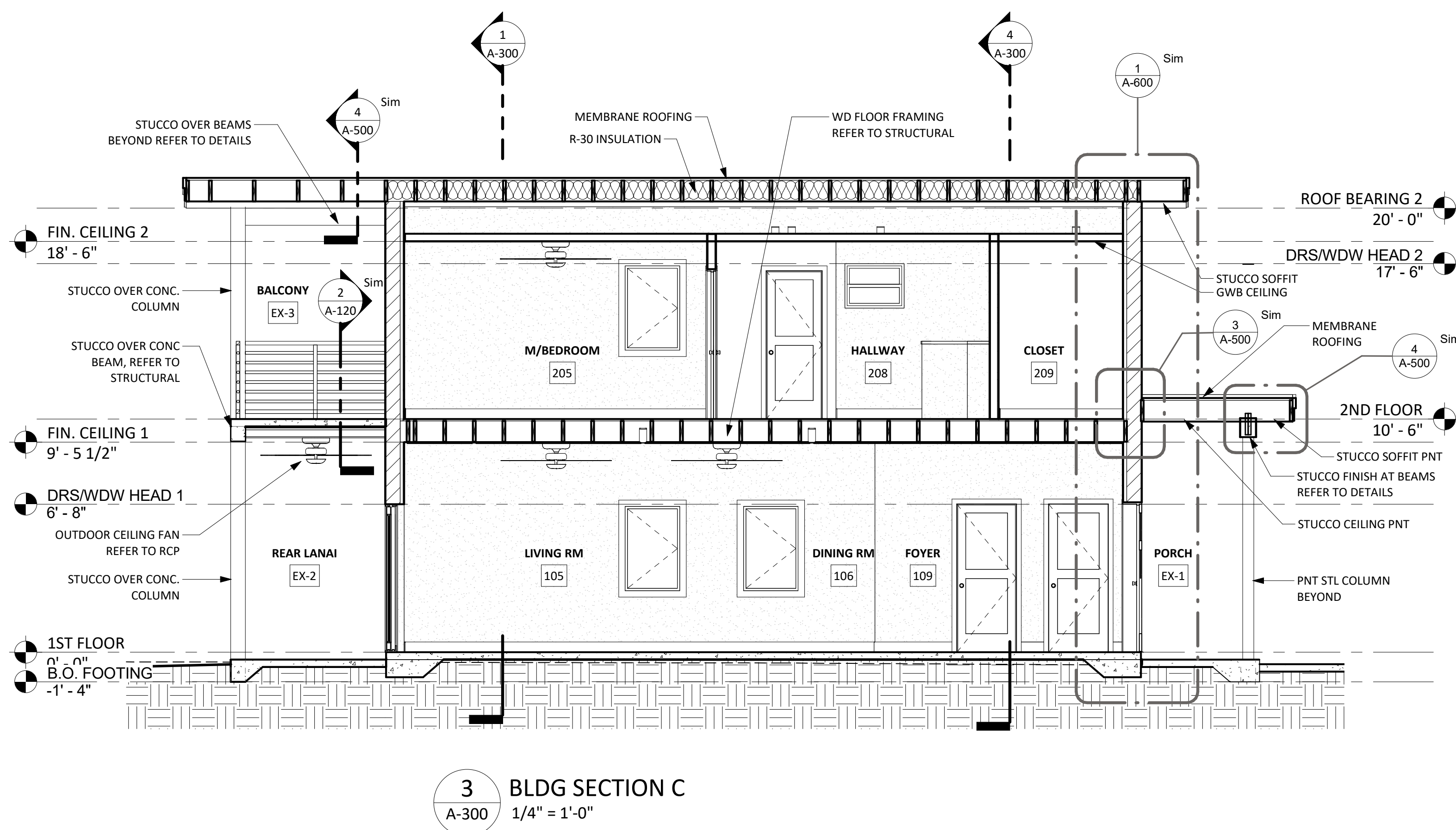
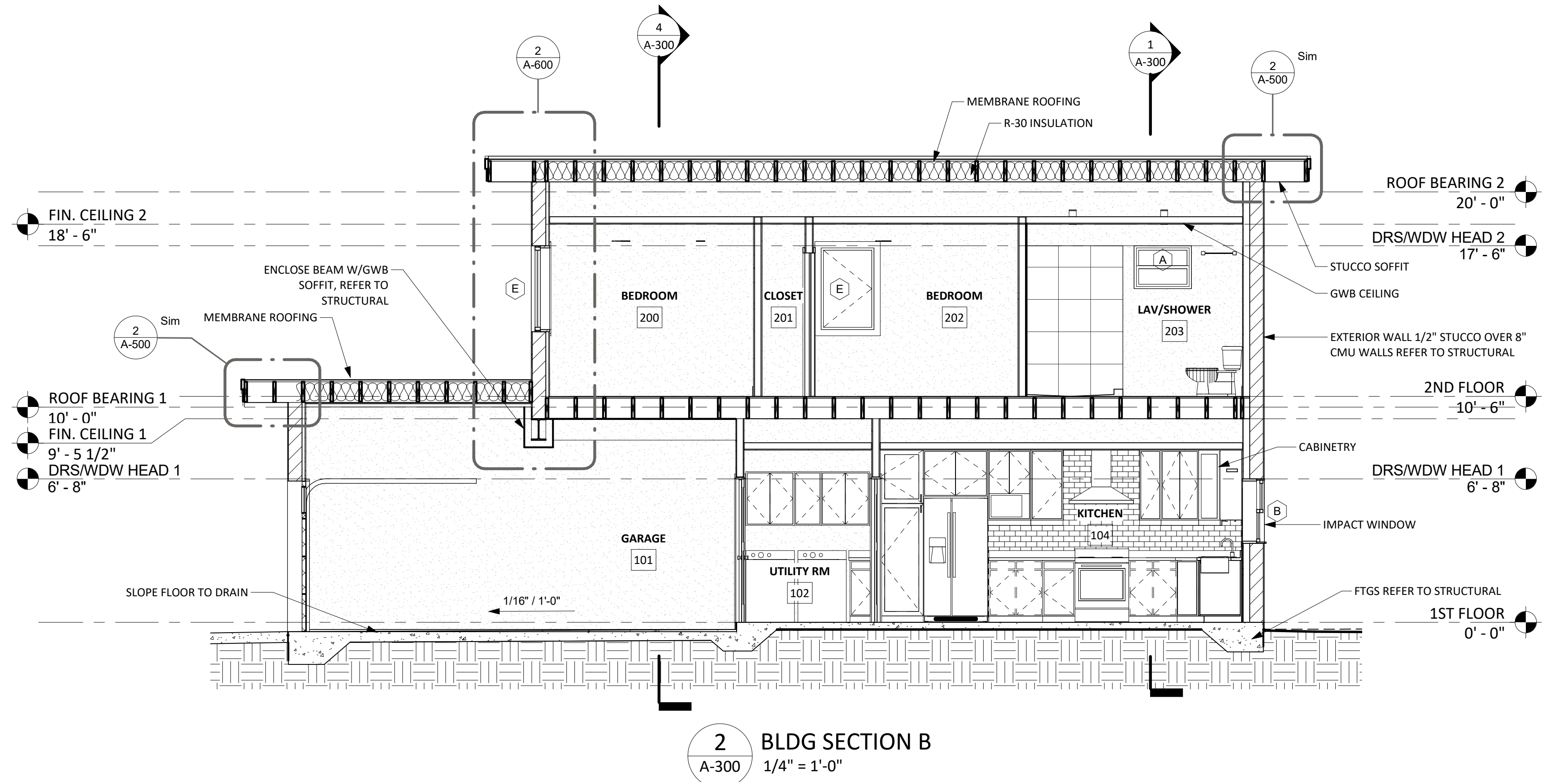
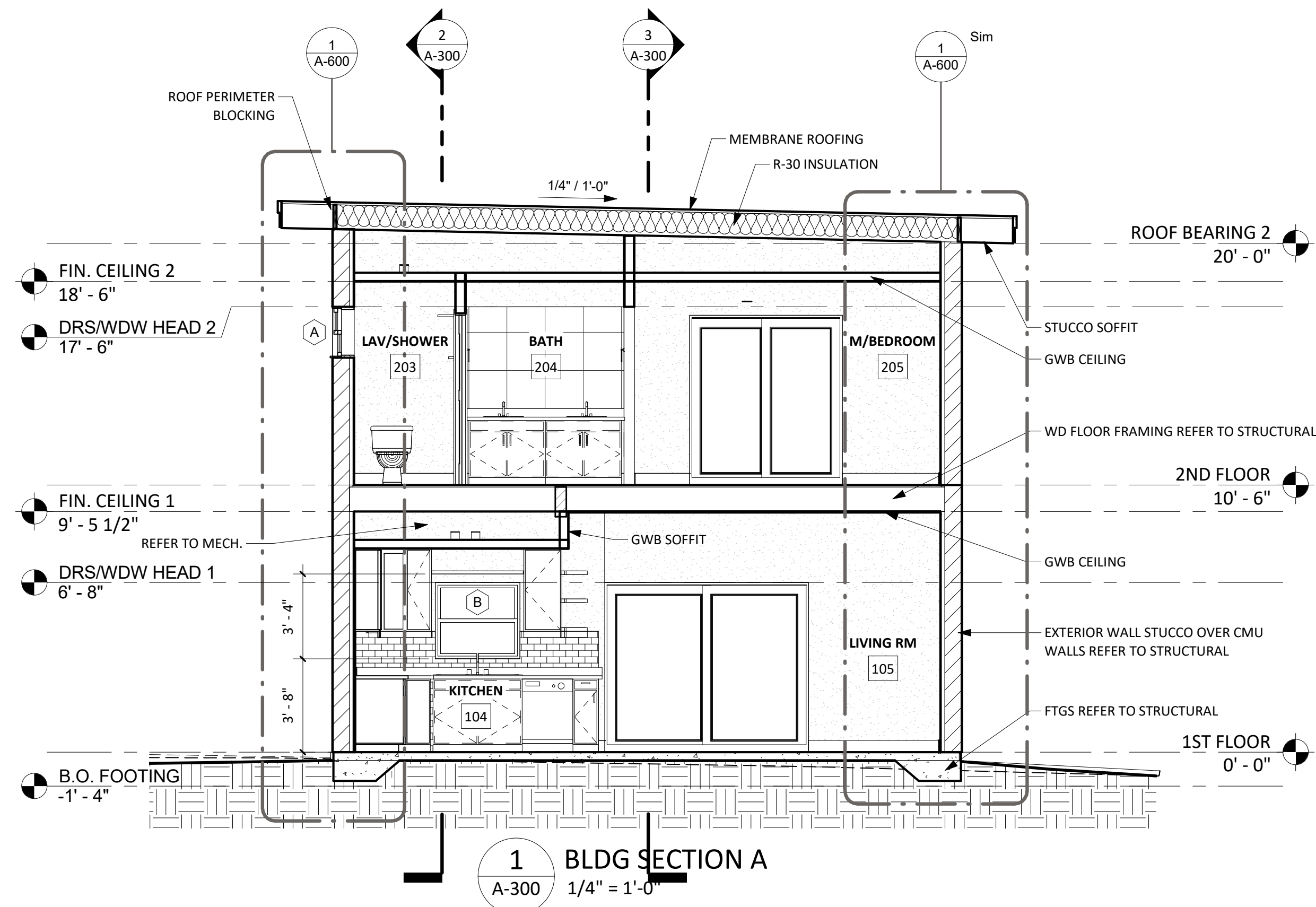
3 NORTH ELEVATION  
A-200 1/4" = 1'-0"



4 EAST ELEVATION  
A-200 1/4" = 1'-0"

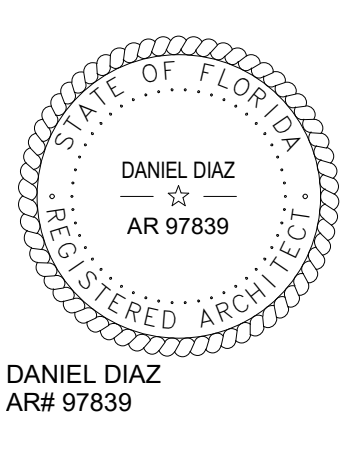
<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>			
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY: JQ	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY:			DATE
DQS PN#: 1713			
DATE: 06.22.18			
<small>LICENSE   AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P: (786) 239-1322 F: (305) 223-6074 WWW.D-Q-S.COM</small>		<b>ELEVATIONS</b>	
<small>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&amp;Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&amp;Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&amp;Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</small>		PERMIT SET <b>A-200</b>	





4 BLDG SECTION D  
A-300 1/4" = 1'-0"

RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC) PROTOTYPE SINGLE FAMILY HOME 2 STORY			
DRAWN BY: Author	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY: Checker			DATE
DQS PN#: 1713			
DATE: 06.22.18			



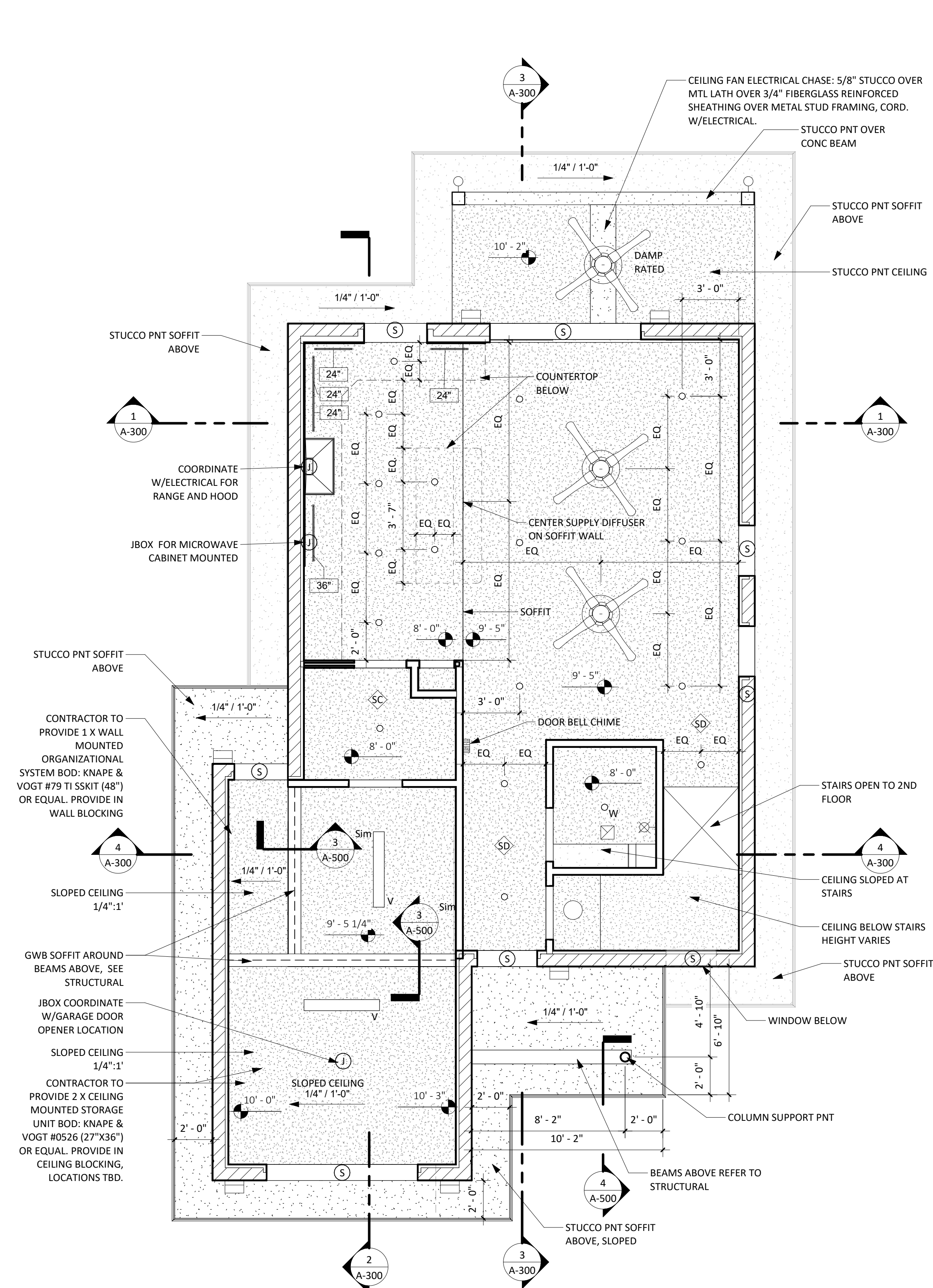
**D&Q Studio / Architects**  
 LICENSE | AA 26003190  
 8245 S.W. 42ND STREET  
 MIAMI, FLORIDA 33155  
 P: (786) 298-1322  
 F: (305) 223-6074  
 WWW.D-Q-S.COM

**BUILDING SECTIONS**

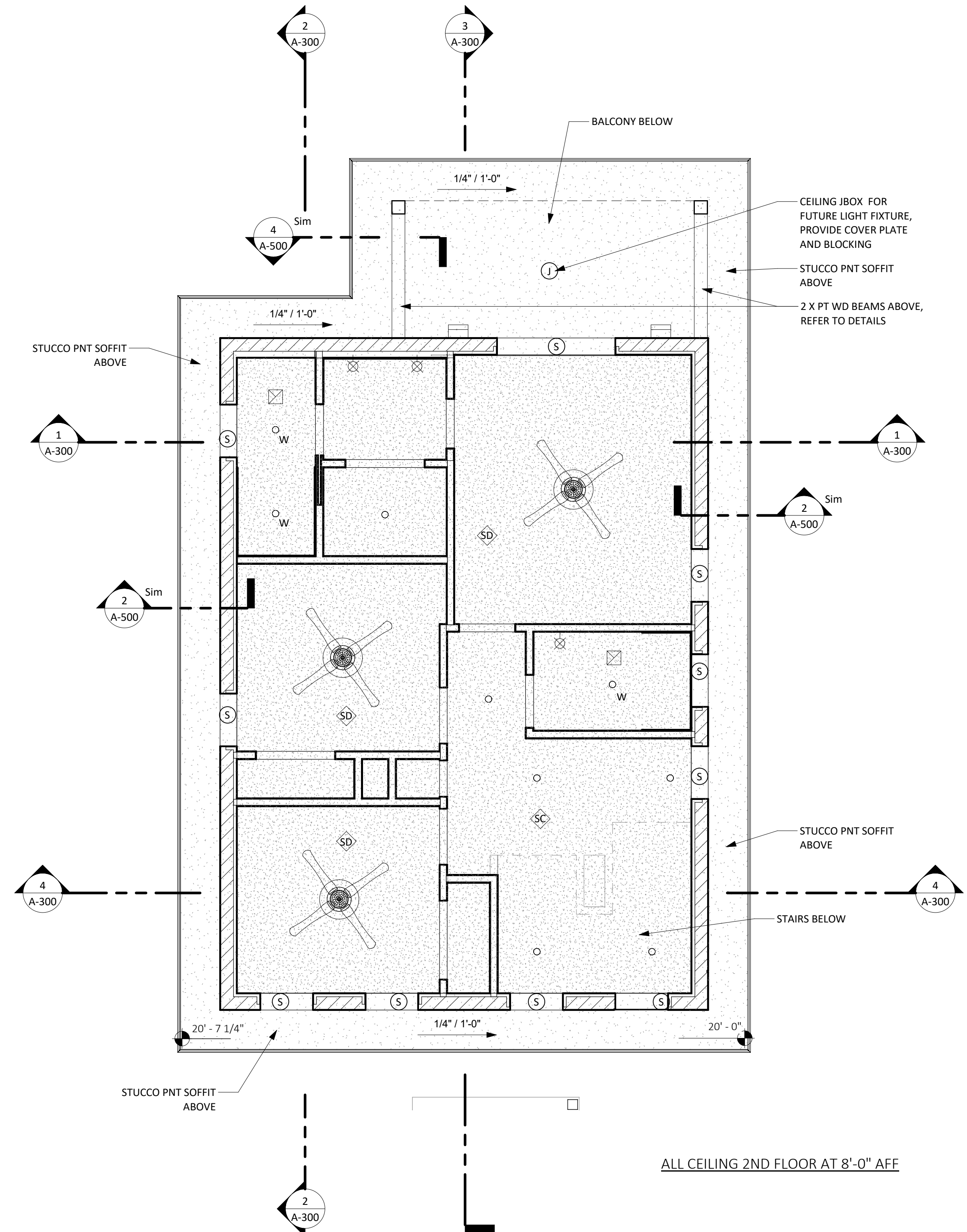
PERMIT SET

# A-300





**1** RCP PLAN 1ST FLOOR  
1/4" = 1'-0"



**2** RCP PLAN 2ND FLOOR  
1/4" = 1'-0"

**RCP LEGEND:**

**CEILING FINISHES:**

- GWB CEILINGS, TYP. 1/2" GYPSUM WALL BOARD CEILINGS EXPECT USE 5/8" IN GARAGE.
- EXTERIOR STUCCO CEILINGS/SOFFITS

**INTERIOR LIGHT FIXTURES:**

- LIGHT FIXTURES NOTES:**
- ALL LIGHT FIXTURE BASIS OF DESIGN (BOD) MFR. TO BE PROGRESS LIGHTING UNO.
  - ALL FIXTURES TO BE IC RATED IN CAVITIES W/INSULATION

- CAN LIGHT: MODEL #: P800004  
W = BATH/SHOWER RATED
- UNDER CABINET STRIP LIGHT, SEE PLAN FOR LENGTHS  
24" LENGTH USE MODEL #: P700003-028-30  
36" LENGTH USE MODEL #: P700004-028-30
- CEILING FAN WITH LIGHT  
BOD INTERIOR FANS:  
MFR: HUNTER  
MODEL #: 59242  
NOTE USE 44" WIDTH IN BEDROOMS AND 54" WIDTH IN GREAT ROOM.
- DAMP RATED  
DAMP RATED CEILING FAN IN OUTDOOR LOCATIONS
- SURFACE MOUNTED LED LIGHT  
MFR. P73002-030-30
- SURFACE MOUNTED LIGHT, VAPOR PROOF  
MODEL #: PCIVT-LED-4-35K
- BATH VANITY LIGHTS, WALL MOUNTED  
MFR.: MOEN,  
1/2 BATH FIRST FLOOR USE MODEL #: YB2262BN, BRANTFORD CHROME  
ALL OTHERS USE MODEL #: YB2263CH, BRANTFORD CHROME

**EXTERIOR LIGHT FIXTURES:**

- EXTERIOR WALL MOUNTED LIGHT FLOOD LIGHT  
MODEL #: P563001-143-30K, 3IN LED WALL MOUNT UP/DOWN CYLINDER
- EXTERIOR WALL MOUNTED LIGHT  
MODEL #: P5203-31, TWO-LIGHT ADJUSTABLE SWIVEL FLOOR LIGHT, W/ CREE 150W EQUIVALENT (3000K) PAR38 LED BULBS

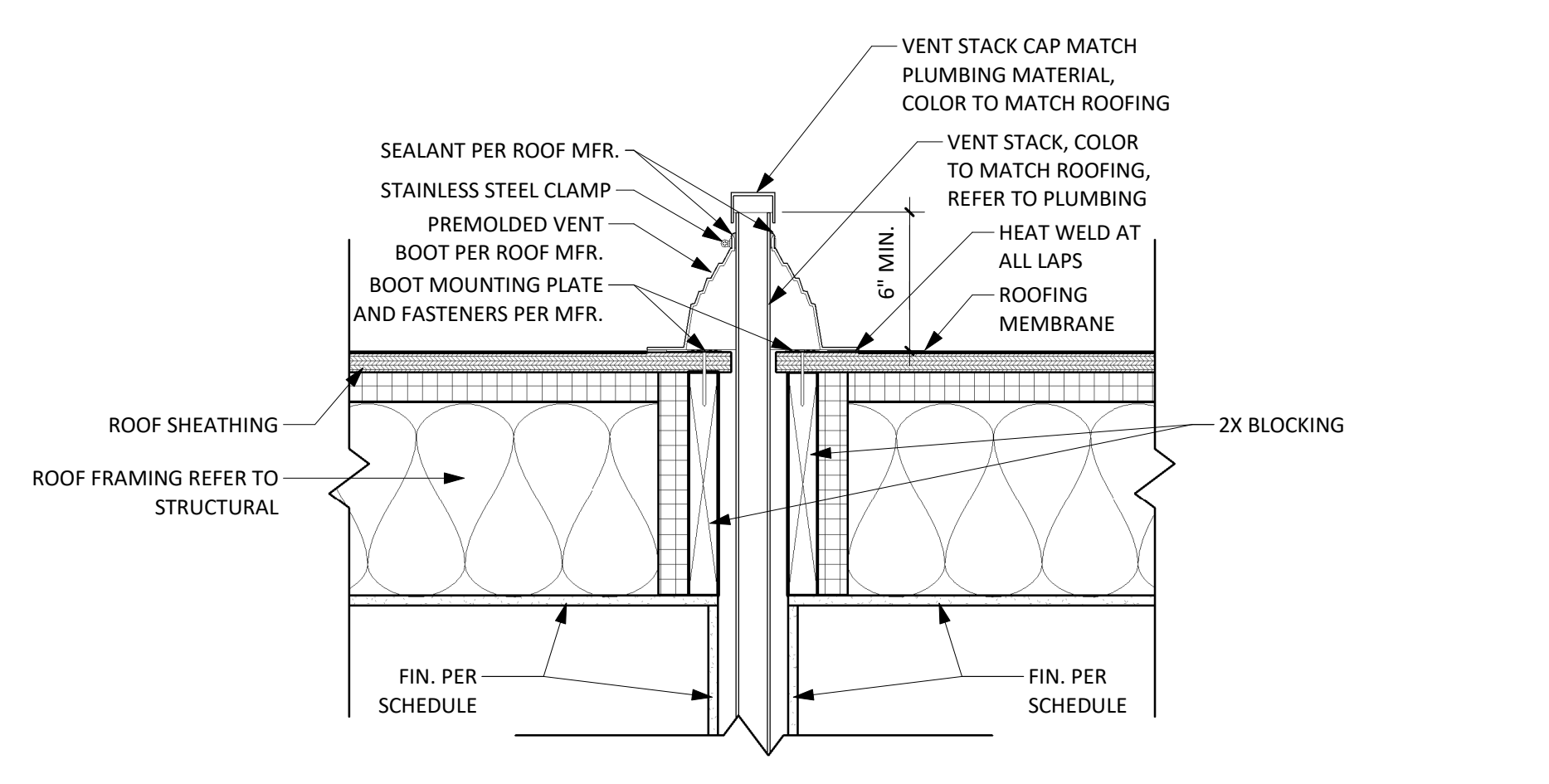
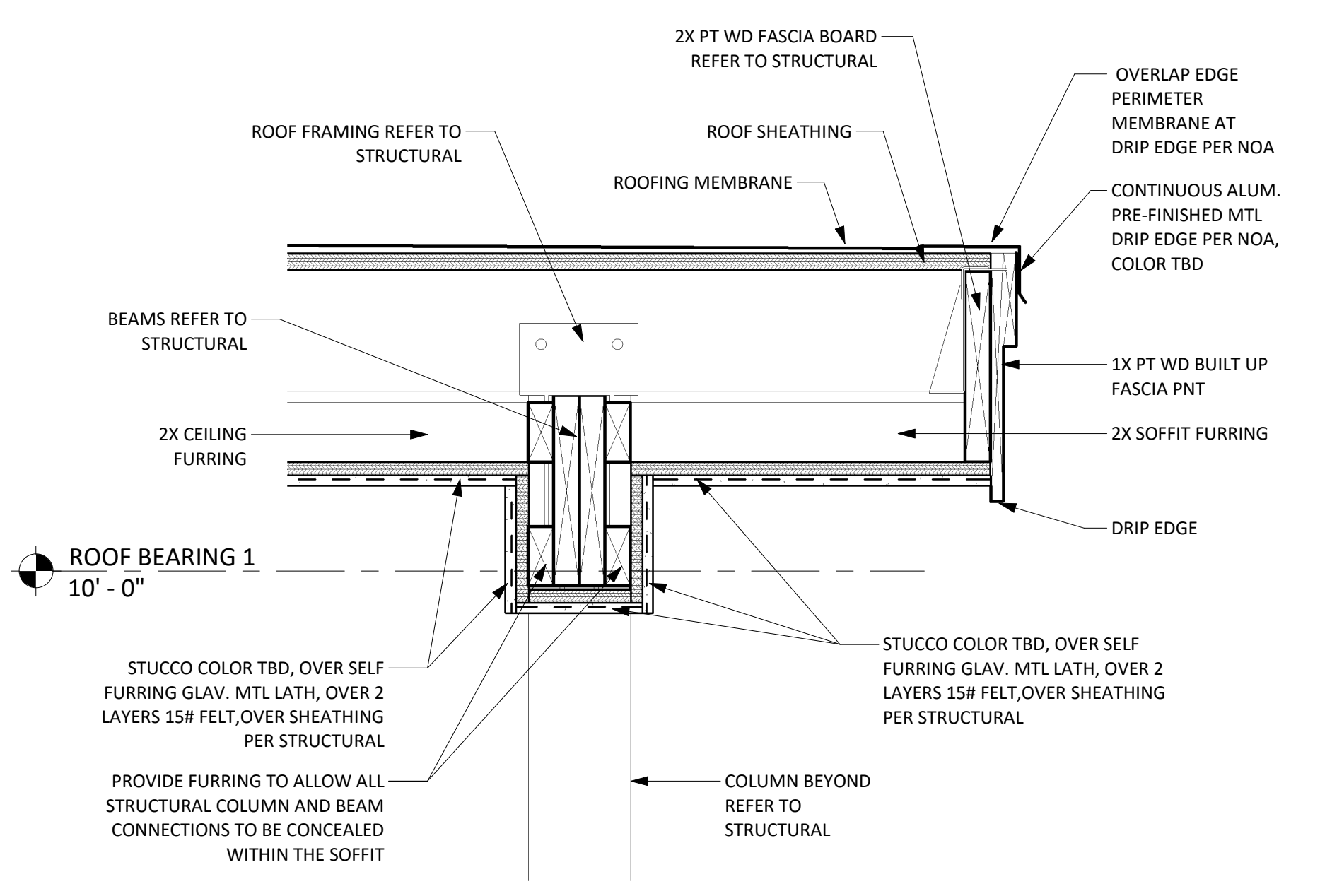
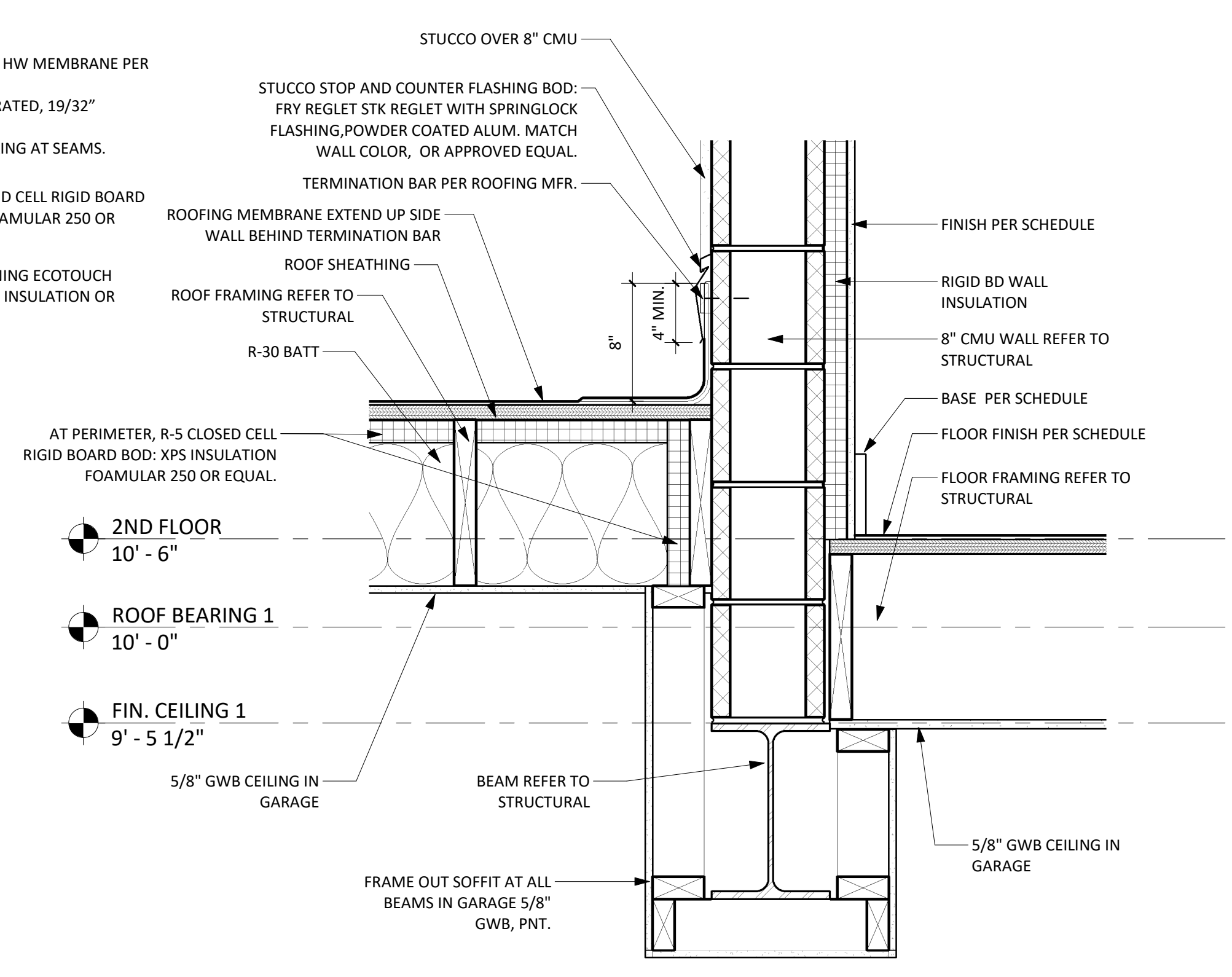
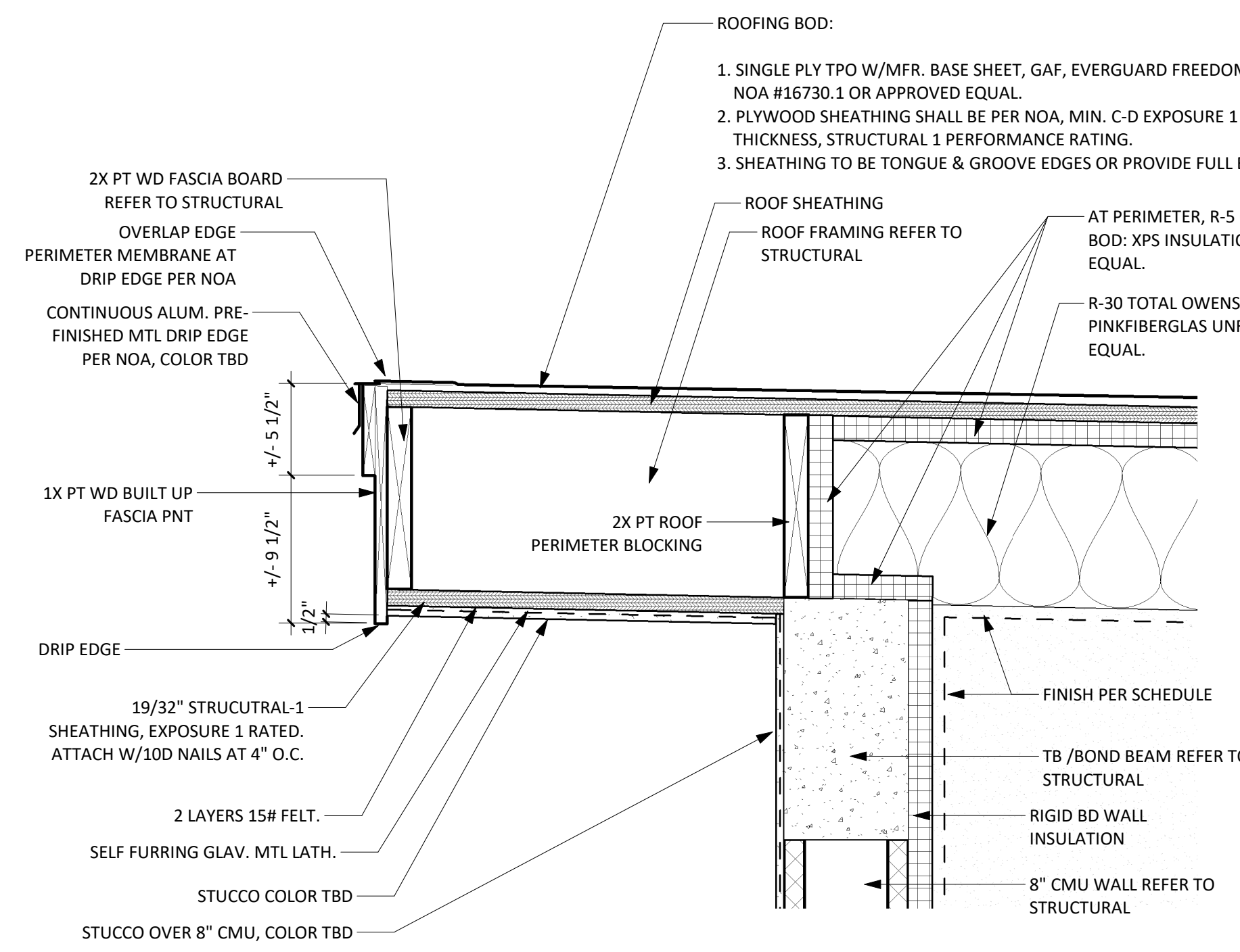
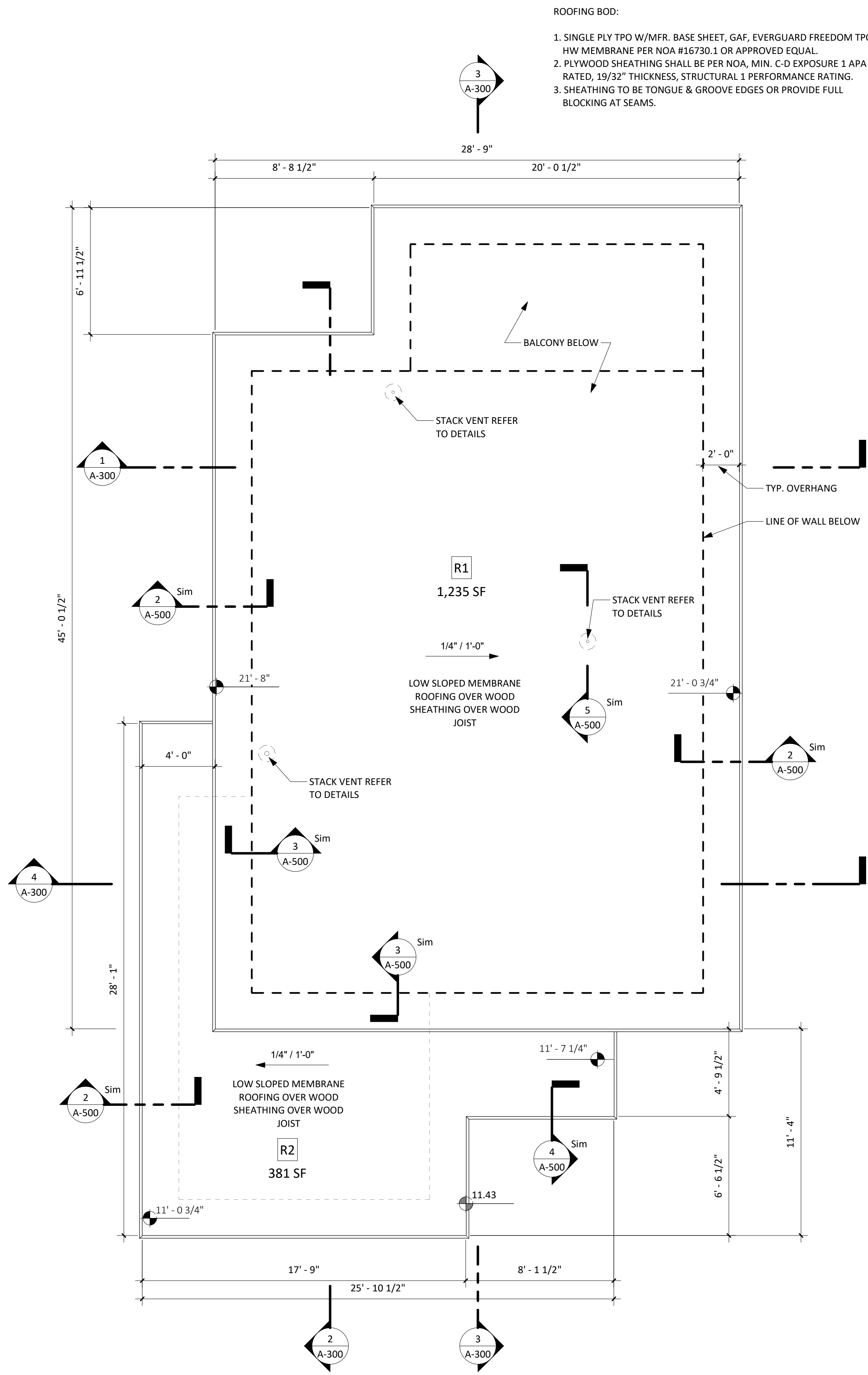
**MISCELLANEOUS:**

- SMOKE ALARM. LISTED IN ACCORDANCE WITH UL 217.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM. LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
- SECURITY SYSTEM LOCATIONS, CONTRACTOR TO COORDINATE W/SECURITY VENDOR AND OWNER ON SECURITY SYSTEM AT ALL EXTERIOR WINDOWS AND DOORS. PROVIDE CONDUIT WITH PULL STRINGS ONLY TO LOCATIONS INDICATED ON PLANS.
- EXHAUST FAN BATHROOM
- WIRED DOOR BELL BOD: HEATH ZENITH (OR APPROVED EQUAL)  
WIRED PUSH BUTTON #SL-604  
WIRED DOOR CHIME #SL-2735  
TRANSFORMER #SL-122

ALL CEILING 2ND FLOOR AT 8'-0" AFF

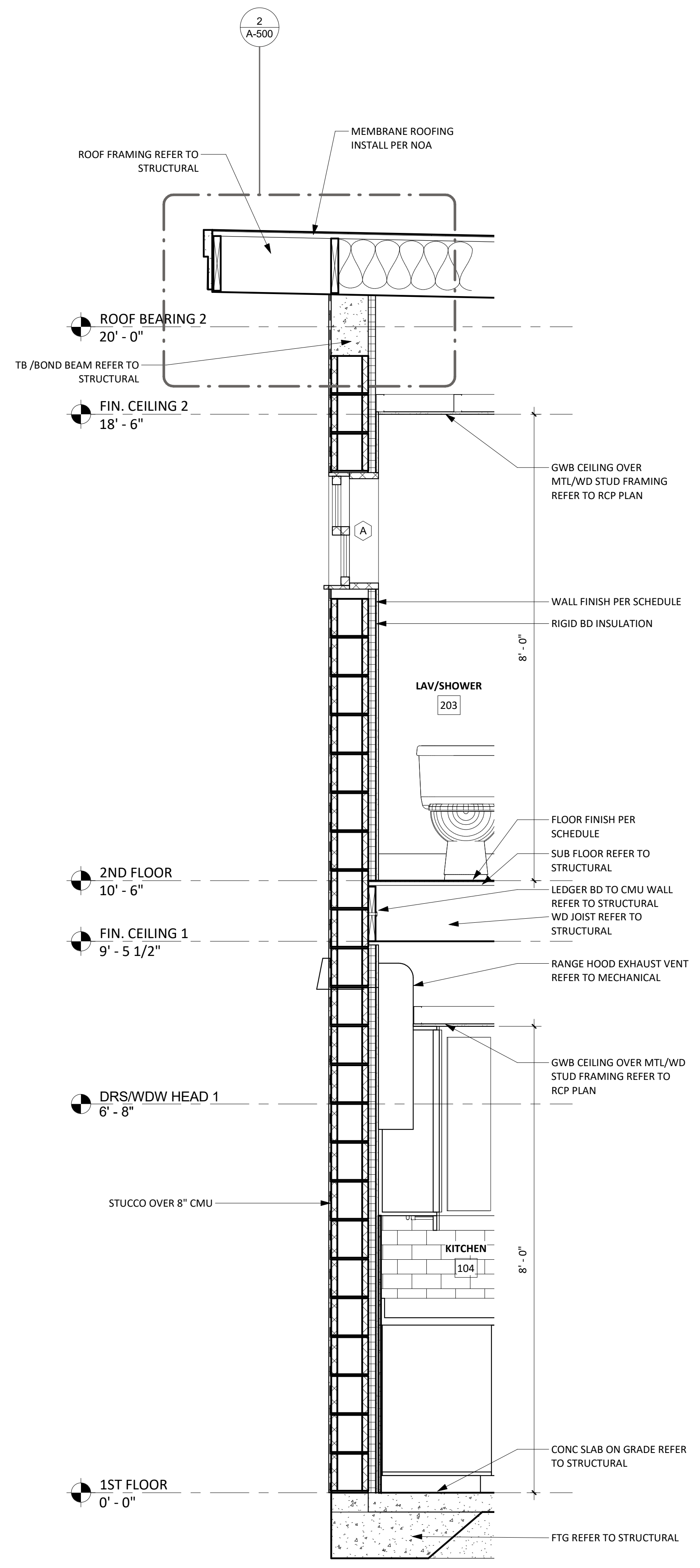
<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b> <b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY: Author CHECKED BY: Checker DQS PN#: 1713 DATE: 06.22.18	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	# REVISION DATE	
		REFLECTED CEILING PLAN (RCP)	PERMIT SET <b>A-400</b>



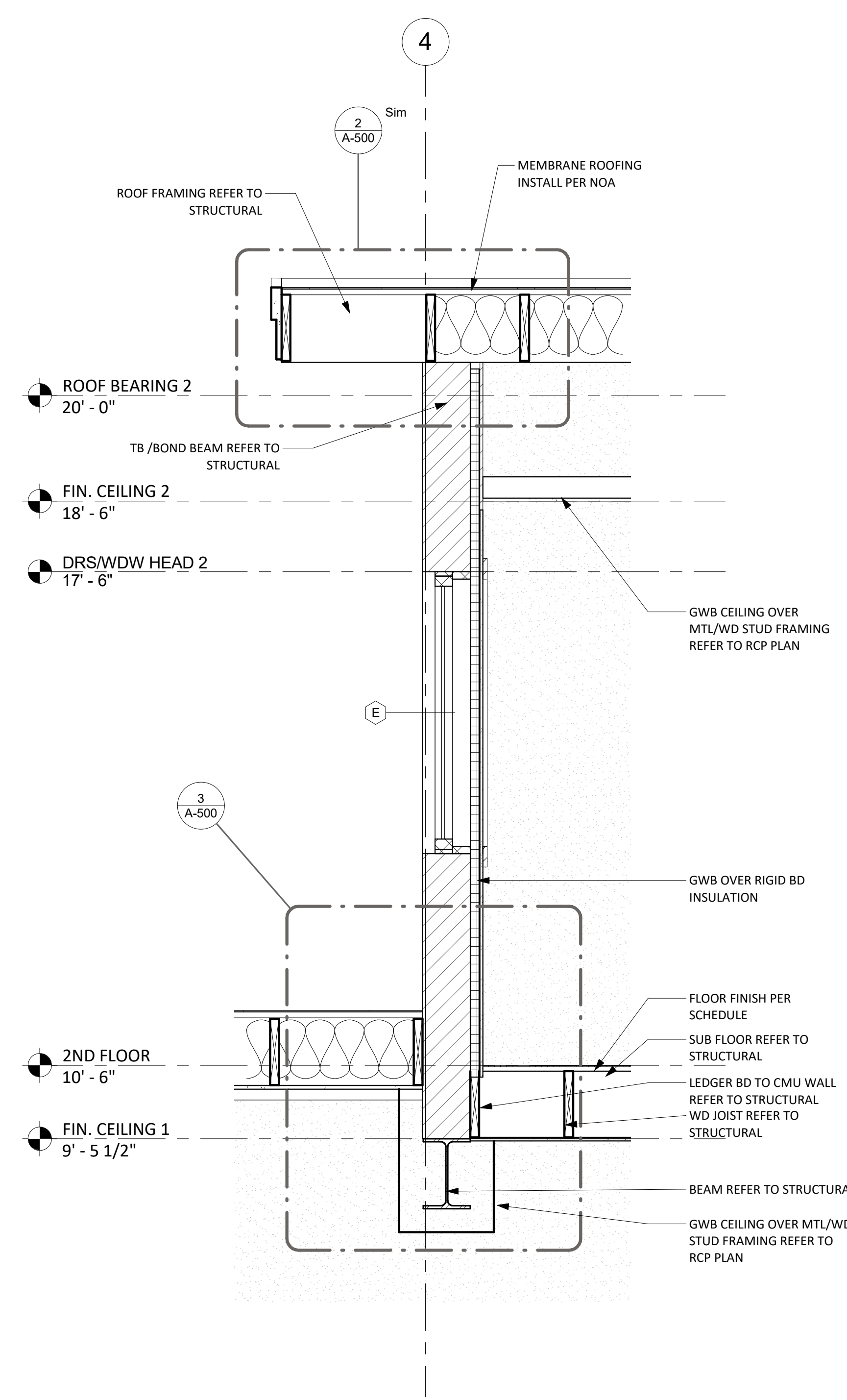


<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>			
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY: Author	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY: Checker			DATE
DQS PN#: 1713			
DATE: 06.22.18			
LICENSE   AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P: (786) 298-1322 F: (305) 223-6074 WWW.D-Q-S.COM		<b>ROOF PLAN</b>	
© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.		<b>PERMIT SET</b>  <b>A-500</b>	

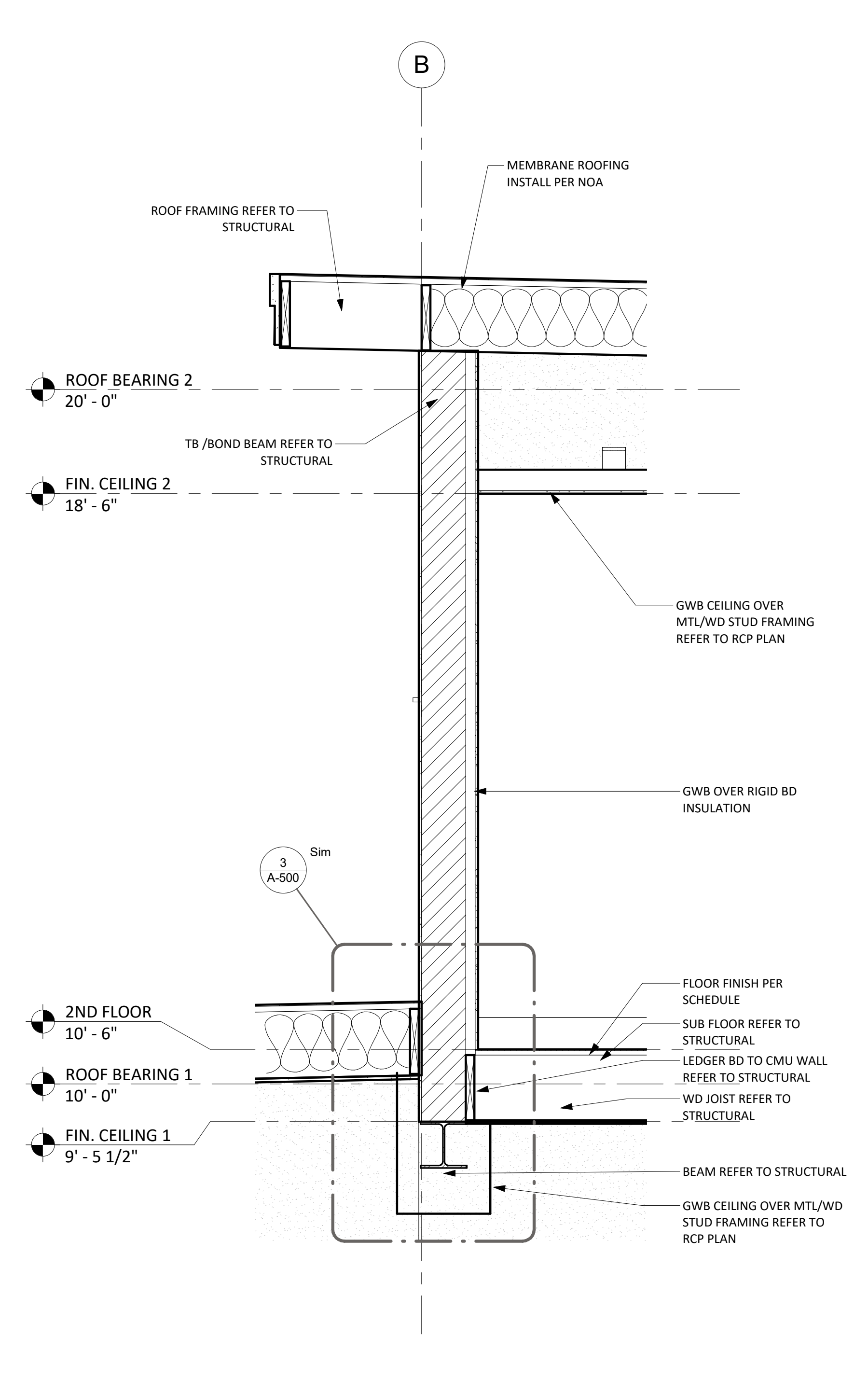




**1** WALL SECTION - A  
A-600 3/4" = 1'-0"

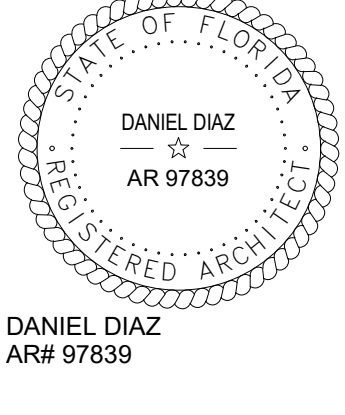



**2** WALL SECTION - B  
A-600 3/4" = 1'-0"



**3** WALL SECTION - C  
A-600 3/4" = 1'-0"

6/22/2018 11:15:18 AM

<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>		<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>		
DRAWN BY: Author CHECKED BY: Checker DQS PN#: 1713 DATE: 06.22.18	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION	
		<b>WALL SECTIONS</b>		PERMIT SET
LICENSE   AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P (786) 239-1322 F (305) 223-6574 WWW.D-Q-S.COM				A-600



## FINISH LEGEND

ITEM TAG	DESCRIPTION	MFR./BASIS OF DESIGN (BOD)	COMMENTS
<b>FLOORING:</b>			
LVT	VINYL PLANK TILE 6"x48"	ARMSTRONG - VIVERO BETTER COLLECTION.	PROPER EXPANSION SPACE MUST BE MAINTAINED THROUGHOUT THE INSTALLATION. MATCH VIVERO - FLUSH STAIR NOSING PROFILE AT STAIRS.
PT-1	PORCELAIN TILE, 6"x36"	DALTILE - SADDLE BROOK	ALL FIRST FLOOR, INCLUDING HALF BATH. PATTERN TO BE STAGGERED BRICK JOINT.
<b>WALL BASE:</b>			
WD	WOOD BASE	1/2 IN. X 5-1/2 IN. PRIMED FINGER-JOINTED PINE BASE MOULDING, CRAFTSMAN PROFILE	
PVC	PVC COMPOSITE BASE	ROYAL BUILDING PRODUCTS 5523	GARAGE
<b>WALL TILE:</b>			
PT-2	PORCELAIN TILE	DALTILE - SANMICHELE 18X18	BATH FLOORS. BATH WALLS TO 54" AFF UNO, TUB & SHOWER WALLS.
PT-3	PORCELAIN TILE	DALTILE - SANMICHELE 2X4 MOSAIC	SHOWER FLOORS
CT-1	CERAMIC WALL TILE	DALTILE - RITTENHOUSESQUARE 3X6	KITCHEN BACKSPLASH
<b>PAINT:</b>			
PNT-1	INTERIOR, EGGSHELL		WALL COLOR
PNT-2	INTERIOR, EGGSHELL	SHERWIN WILLIAMS, EMERALD INTERIOR ACRYLIC LATEX PAINT, COLORS TBD	ACCENT WALL COLOR
PNT-3	INTERIOR, SEMI-GLOSS		TRIM
PNT-4	INTERIOR, SATIN		INTERIOR DOORS
PNT-5	INTERIOR, FLAT		CEILINGS
PNT-6	INTERIOR GARAGE FLOOR COATING	SHERWIN WILLIAMS, H&C SHIELD-CRETE WATER-BASED EPOXY, COLOR TBD	GARAGE FLOOR
PNT-7	EXTERIOR, EGGSHELL	SHERWIN WILLIAMS, EMERALD EXTERIOR ACRYLIC LATEX PAINT, COLOR TBD	EXTERIOR WALL COLOR
PNT-8	EXTERIOR, EGGSHELL	SHERWIN WILLIAMS, EMERALD EXTERIOR ACRYLIC LATEX PAINT, COLOR TBD	EXTERIOR ACCENT WALL COLOR
PNT-9	EXTERIOR, SEMI-GLOSS	SHERWIN WILLIAMS, SNAPDRY DOOR & TRIM PAINT, COLOR TBD	EXTERIOR DOOR & TRIM
PNT-10	EXTERIOR, EGGSHELL	SHERWIN WILLIAMS, EMERALD EXTERIOR ACRYLIC LATEX PAINT, COLOR TBD	EXTERIOR ACCENT WALL COLOR

**NOTE:** ALL FINISHES PER SPECIFICATION OR APPROVED EQUAL. GC TO SUBMIT ALL PROPOSED SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW.

### PAINT NOTES:

- ALL PAINT TO BE 1 COAT PRIMER AND 2 COATS FINISH PAINT, UNO.
- STUCCO PH (8-10) TESTING TO BE PERFORMED PRIOR TO ANY PAINTING.

### GWB NOTES:

- FOR TYPICAL INTERIOR WALLS, SOFFITS AND CEILINGS BOD: MIN. 1/2" USG SHEETROCK BRAND GYPSUM PANELS, OR EQUAL.
- CEILING ABOVE GARAGE BOD: 5/8" USG SHEETROCK TYPE FIRECODE X, OR EQUAL.
- WATER RESISTANT GWB BOD: USG SHEETROCK BRAND ULTRALIGHT PANELS MOLD TOUGH, OR EQUAL.
- WALL TILE BACKER BOARD BOD: USG DUROCK BRAND GLASS-MAT TILE BACKERBOARD OR USG DUROCK BRAND CEMENT BOARD, OR EQUAL.
- NOTE ALL WALL SURFACES TO BE FINISHED TO LEVEL 4.

### TILE NOTES:

- SHOWER/TUB WALL TILE WATERPROOFING SYSTEM BOD: THE SCHLUTER- KERDI-SHOWER-KIT AND THE KERDI-TUBKIT, OR APPROVED EQUAL.
- AT WALL TILE TO GWB TERMINATION PROVIDE TERMINATION BAR PROFILE SCHLUTER JOLLY, FINISH TO MATCH ROOM FIXTURES, OR APPROVED EQUAL.

### STUCCO NOTES:

- ALL EXTERIOR STUCCO TO BE INSTALLED PER ASTM C926, 3 COAT SYSTEM, FINISH TEXTURE TO BE FINE SAND, LIGHT FLOAT TEXTURE FINISH. PNT COLOR PER FINISH SCHEDULE.
- AFTER APPLYING FINISH COAT, MOIST CURE A MINIMUM OF 3 TIMES A DAY FOR A MINIMUM OF 3 - 5 DAYS AS DICTATED BY WEATHER OR AS NECESSARY TO REACH THE REQUIRED PH LEVEL TO RECEIVE PAINT. MAINTAIN FINISHED WORK IN A CONTINUOUSLY MOIST CONDITION BY PH TESTING UNTIL TEST READING IS 8-10. MAINTAIN A WRITTEN AND PHOTOGRAPHIC RECORD OF EACH SUCH TEST.

## FINISH SCHEDULE

ROOM NAME	ROOM #	Area	FLOOR	WALL BASE	WALL	CEILING	COMMENTS
GARAGE	101	242 SF	EPOXY	PVC	PNT	PNT	SLOPE FLOOR TO DRAIN TO OVERHEAD DOOR
UTILITY RM	102	44 SF	PT-1	WD	PNT	PNT	
PANTRY	103	2 SF	PT-1	WD	PNT	PNT	ADJ. WIRE SHELVING REFER TO DETAIL 04/A-720
KITCHEN	104	204 SF	PT-1	WD	PNT/CT-1	PNT	
LIVING RM	105	144 SF	PT-1	WD	PNT	PNT	
DINING RM	106	100 SF	PT-1	WD	PNT	PNT	
1/2 BATH	107	35 SF	PT-1	WD	PNT	PNT	
CLOSET	108	68 SF	PT-1	WD	PNT	PNT	CEILING SLOPES TO UNDERSIDE OF STAIRS ABOVE
FOYER	109	49 SF	PT-1	WD	PNT	PNT	
BEDROOM	200	97 SF	LVT	WD	PNT	PNT	
CLOSET	201	12 SF	LVT	WD	PNT	PNT	CLOSET MAID ORGANIZER #287300
BEDROOM	202	99 SF	LVT	WD	PNT	PNT	
LAV/SHOWER	203	39 SF	PT-2/PT-3	PT-2	PNT/PT-2	PNT	PT-3 FOR SHOWER FLOORS
BATH	204	32 SF	PT-2	PT-2	PNT/PT-2	PNT	
M/BEDROOM	205	164 SF	LVT	WD	PNT	PNT	
BATH	206	39 SF	PT-2	PT-2	PNT/PT-2	PNT	
STUDY	207	28 SF	LVT	WD	PNT	PNT	
HALLWAY	208	62 SF	LVT	WD	PNT	PNT	
CLOSET	209	12 SF	LVT	WD	PNT	PNT	CLOSET MAID ORGANIZER #287300
CLOSET	210	4 SF	LVT	WD	PNT	PNT	ADJ. WIRE SHELVING REFER TO DETAIL 04/A-720
CLOSET	211	28 SF	LVT	WD	PNT	PNT	CLOSET MAID ORGANIZER #7880900 AND 3X 12"X48" SHELVING #563100

## APPLIANCES BOD

ITEM	MFR.	MODEL #	COLOR/FINISH	COMMENTS
RANGE	LG	LRE3083	SS	
FRIDGE	LG	LSXC22426S	SS	
DISHWASHER	LG	LDF5545	SS	
MICROWAVE	LG	LSRM2085ST	SS	
HOOD	LG	LSHD3689BD	SS	
WASHING M.	LG	WT7200CW	WHITE	
DRYER	LG	DLE7200WE	WHITE	

## PLUMBING FIXTURES BOD:

### KITCHEN:

- SINK: JUST, #ODL 2233 A GR L. STRAINER #JDP-35
- FAUCET: MOEN, # 75945RS, ARBOR ONE-HANDLE HIGH ARC PULLDOWN KITCHEN FAUCET FEATURING REFLEX, SPOT RESIST STAINLESS.
- GARBAGE DISPOSAL: MOEN, #GXS75C, GX SERIES 3/4 HORSEPOWER.
- ICE MAKER BOX: GUY GRAY #AB9700HACP.

### BATHROOMS:

- BATHROOM SINK: KOHLER, #K-2699-4-0, BRYANT.
- FAUCET: MOEN, #84603, ADLER CHROME.
- TUB: AMERICAN STANDARD, Q255 ENAMELED STEEL, INTEGRAL APRON.
- TUB FAUCET: MOEN, #82603, ADLER, W/SPRAY HEAD HAND SHOWER #20006.
- SHOWER FAUCET: MOEN, #82604, ADLER, W/SPRAY HEAD HAND SHOWER #20006.
- WATER CLOSET: FLOOR MOUNTED 2 PIECE TANK TYPE, KOHLER #K-3999-0 HIGHLINE COMFORT HEIGHT

### LAUNDRY:

- WASHING MASHING BOX: GUY GRAY #MWB26

OR APPROVED EQUALS.

## BATHROOM ACCESSORIES BOD:

**BOD:** MOEN, FINISH CHROME, OR APPROVED EQUALS.

- TOWEL BAR 18": BP6918CH
- TOWEL BAR 24": BP6924CH
- TOWEL SHELF W/RACK 24": DN0794CH
- SHOWER ROD CURVED: CSR2160CH
- TOWEL RING: BP6986CH
- TOILET PAPER HOLDER: BP6908CH
- ROBE HOOK: YB0403CH

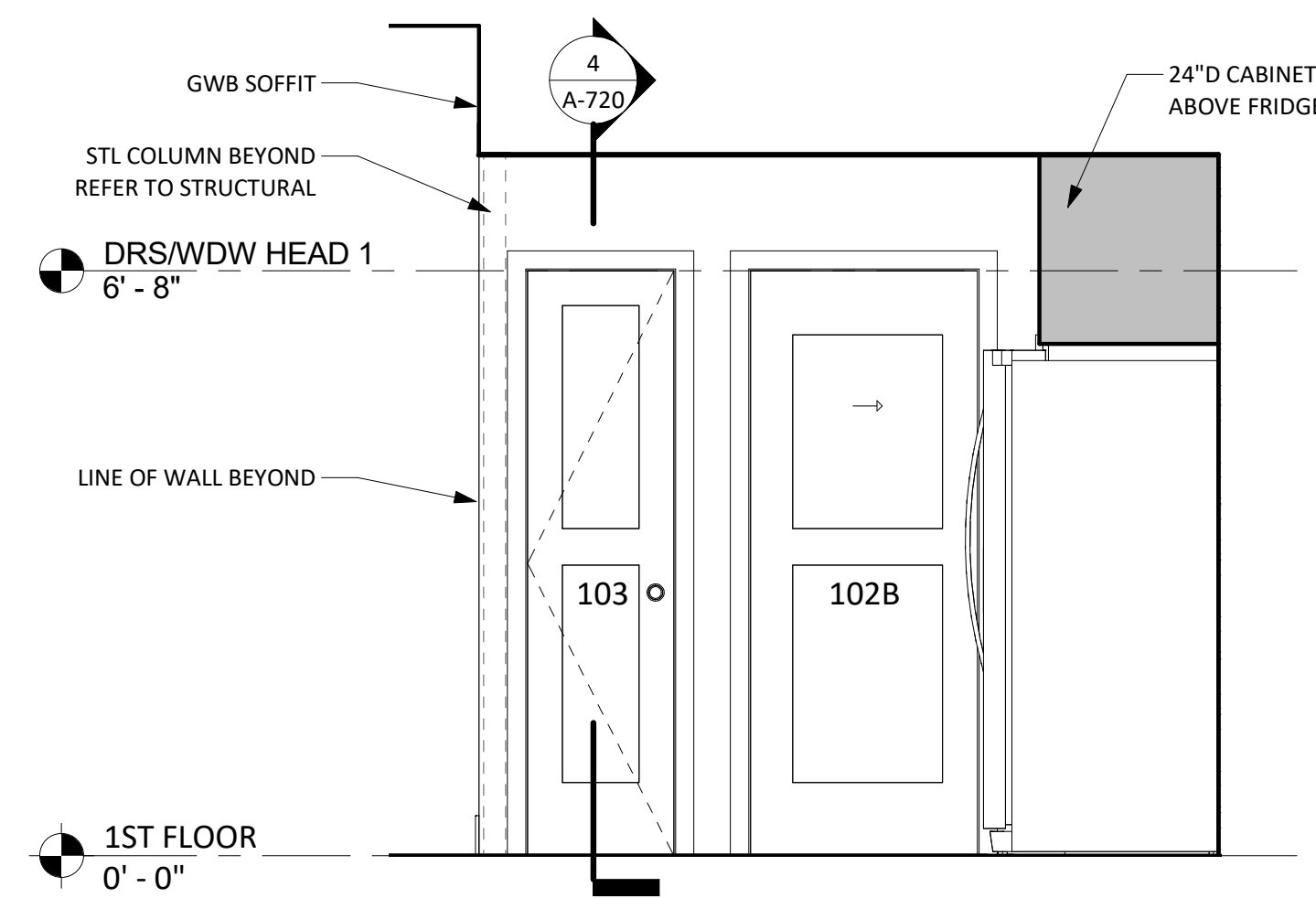
## KITCHEN CABINETRY BOD:

**BOD:** KRAFTMAID, OR APPROVED EQUAL:

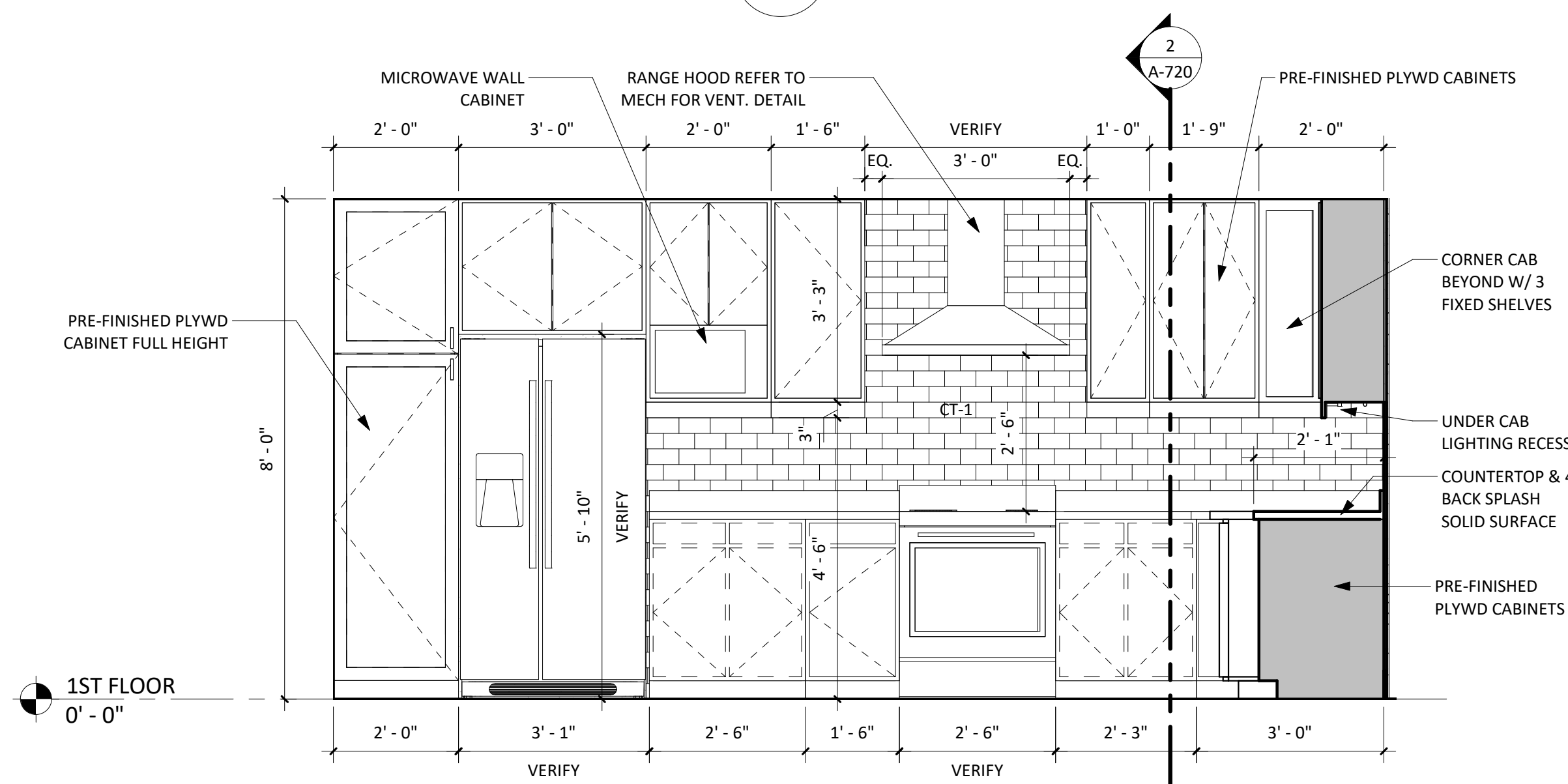
- CABINET CONSTRUCTION TO BE ALL PRE-FINISHED PLYWOOD (APC).
- DRAWER CONSTRUCTION 3/4" SOLID WOOD FULL-DEPTH DRAWER WITH FOUR-SIDED DOVETAIL CONSTRUCTION AND 3/16" PLYWOOD BOTTOM.
- CABINET INTERIOR FINISH TO BE NATURAL BIRCH.
- CABINET DOORS BOD: PUTMAN, DELUXE RECESSED PANEL DRAWER(DRPD) COLOR TBD.
- DOOR HARDWARE: BAR PULL COLLECTION
- HINGES: SOFT CLOSE WHISPER TOUCH.

## KITCHEN COUNTERTOP BOD:

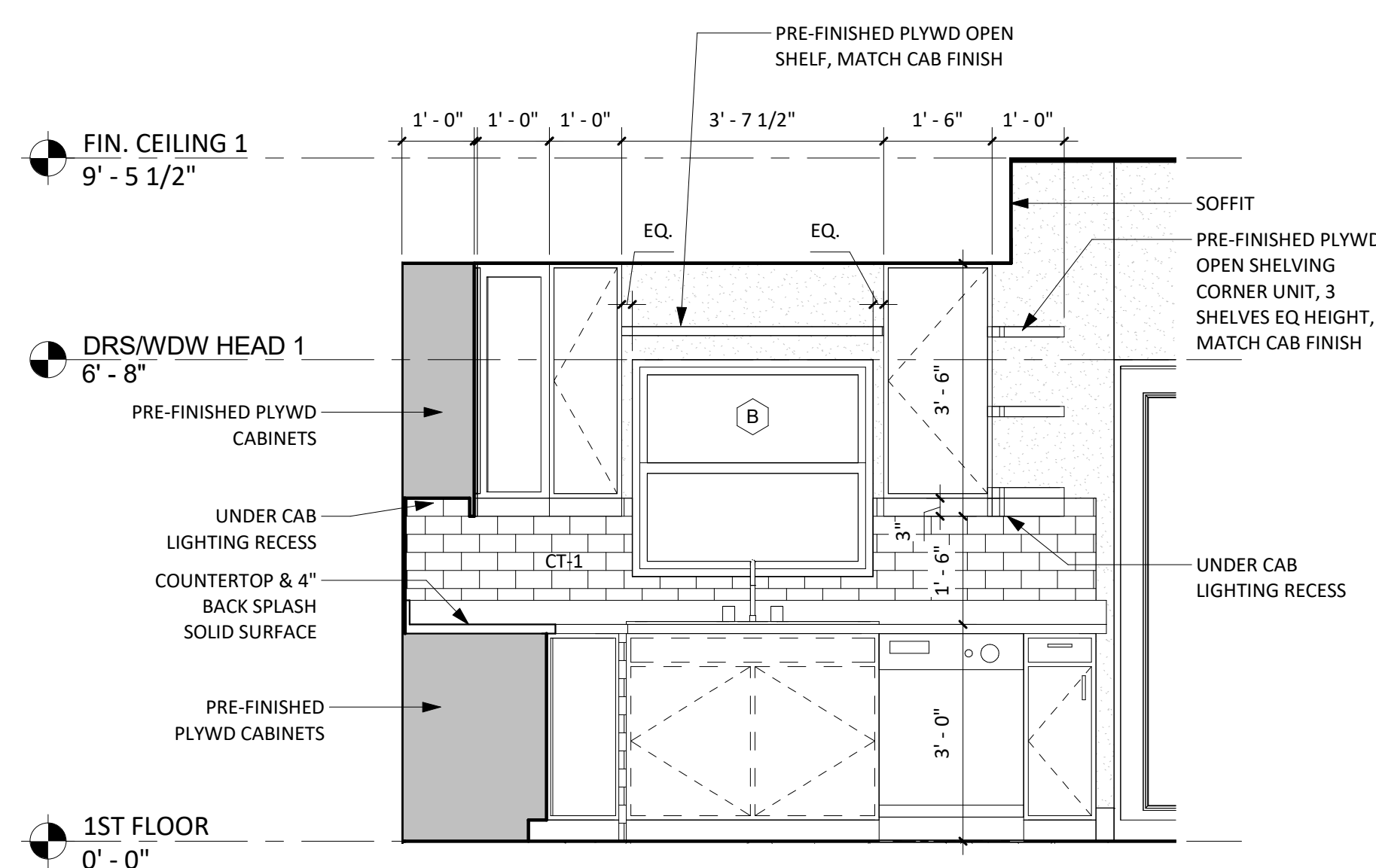
- SOLID SURFACE BOD: WILSONART, 1/2" THICKNESS, COLOR SELECTION FROM PRICE GROUP #2. WITH 4" BACKSPLASH. OR APPROVED EQUAL.



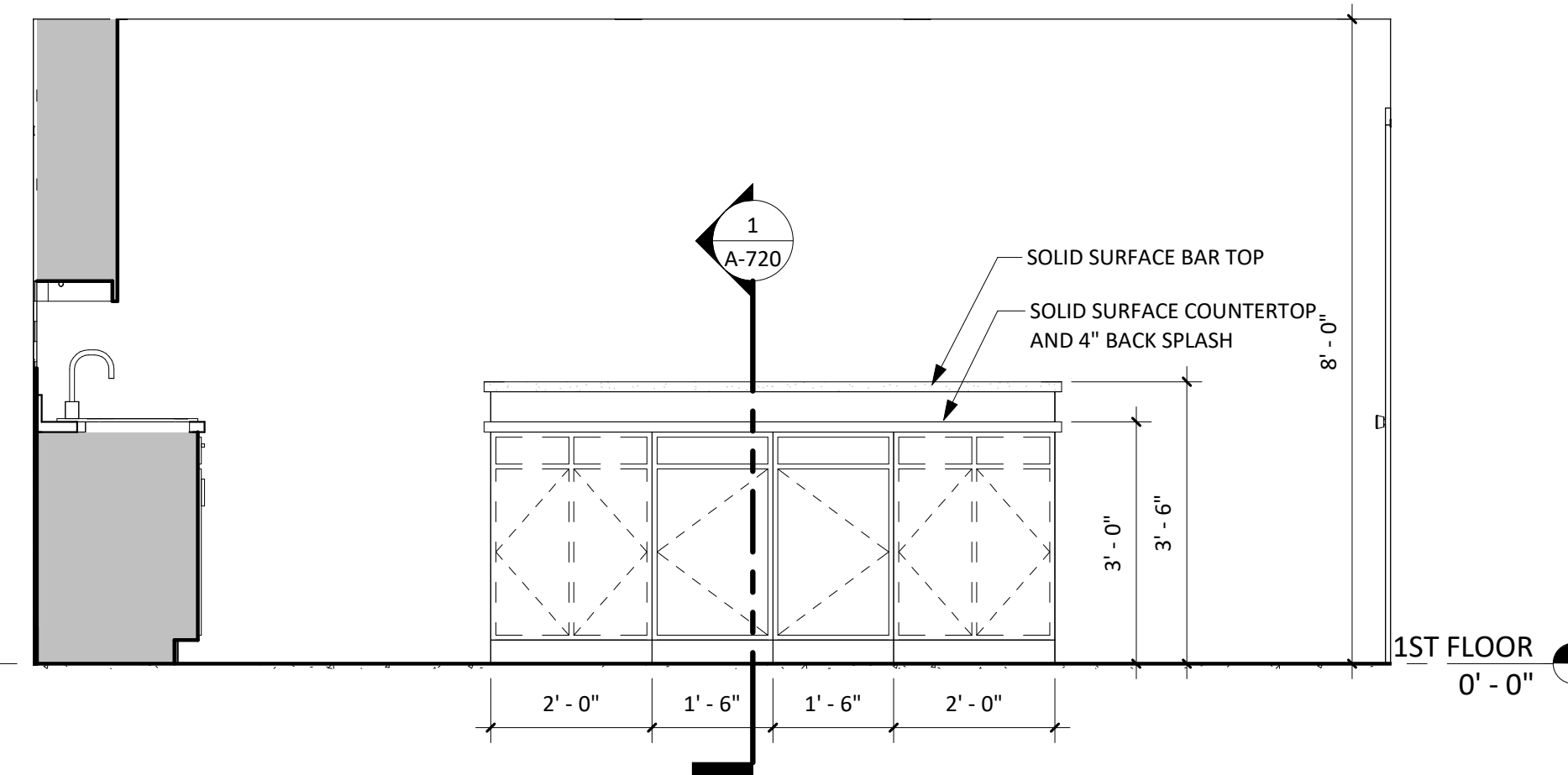
**1 KITCHEN - A**  
A-700  
1/2" = 1'-0"



**2 KITCHEN - B**  
A-700  
1/2" = 1'-0"



**3 KITCHEN - C**  
A-700  
1/2" = 1'-0"



**4 KITCHEN ISLAND**  
A-700  
1/2" = 1'-0"

DRAWN BY:		PROJECT SITE ADDRESS:	#	REVISION	DATE
Author		Vacant Lot #673 West 1st Street Riviera Beach, FL 33404			
Checked By:					
Checker					
DQS PN#:					
1713					
DATE:					
06.22.18					

DANIEL DIAZ  
AR 97839

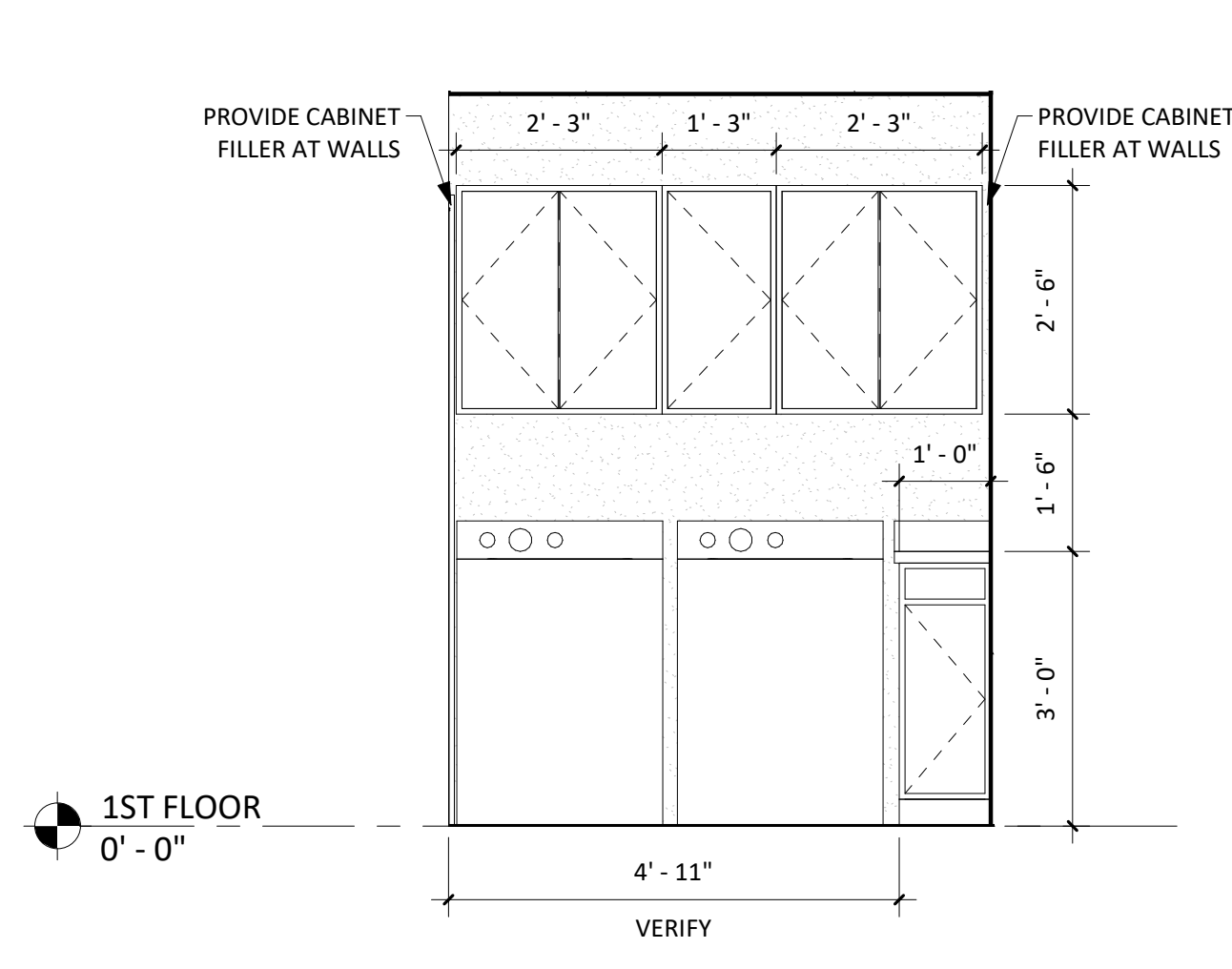
DANIEL DIAZ  
AR# 97839

**FINISH SCHEDULE & DETAILS**

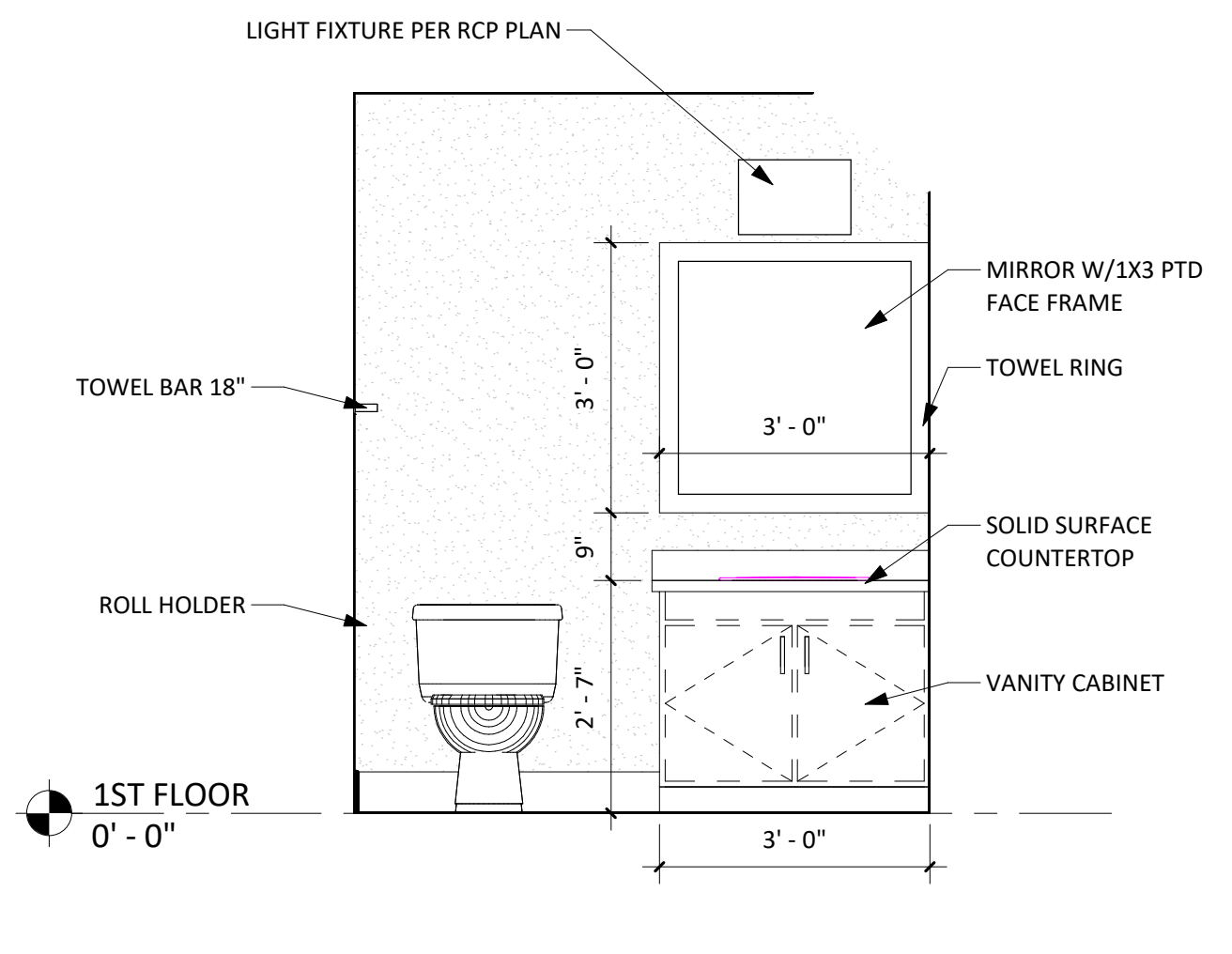
**A-700**

PERMIT SET

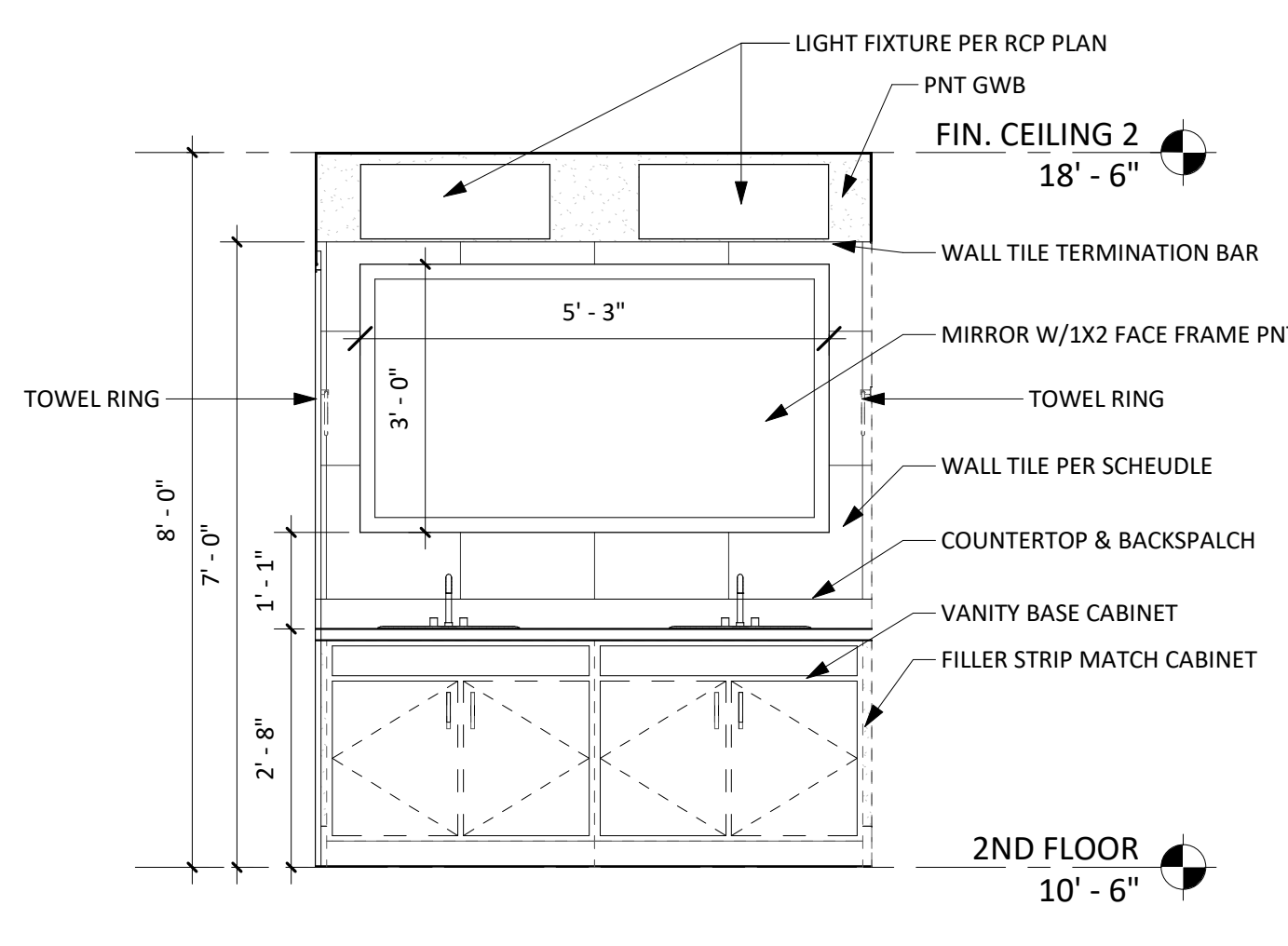




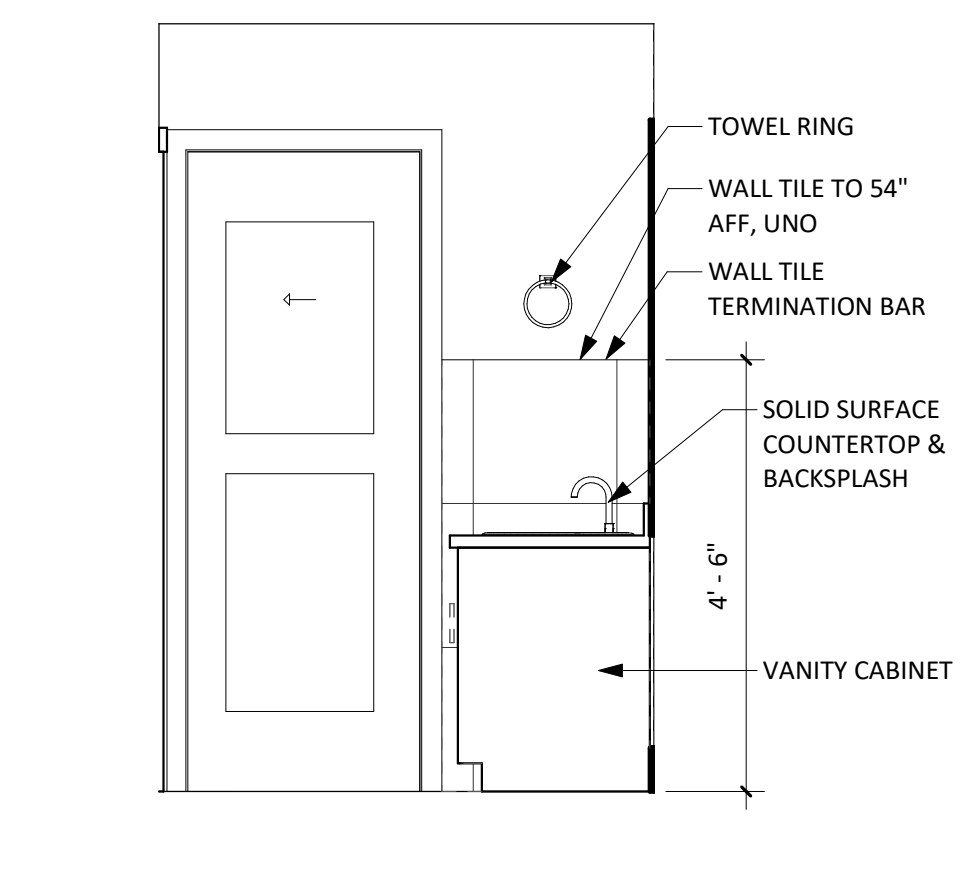
**1** UTILITY ROOM  
A-710 1/2" = 1'-0"



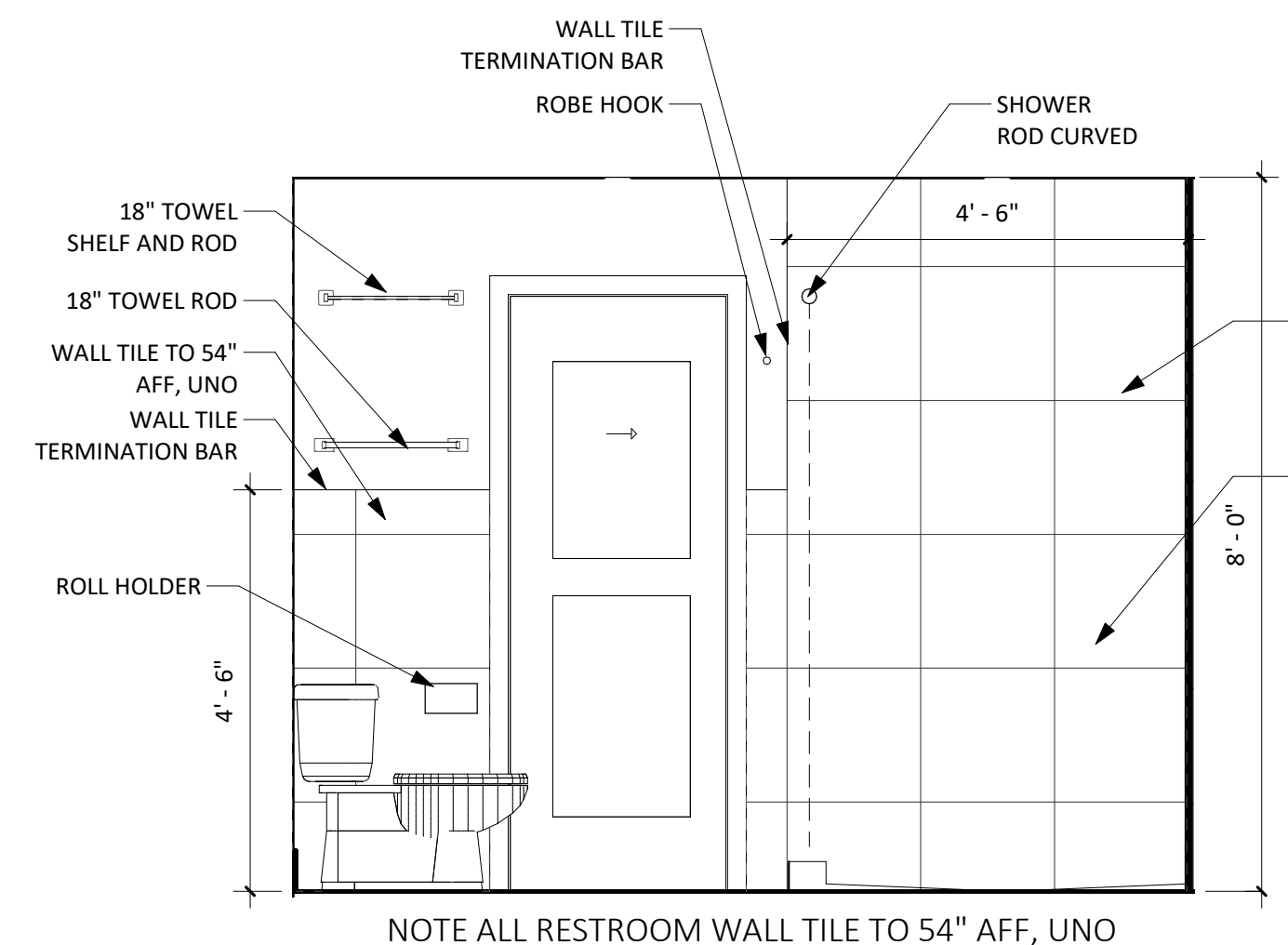
**2** 1/2 BATH ELEVATION  
A-710 1/2" = 1'-0"



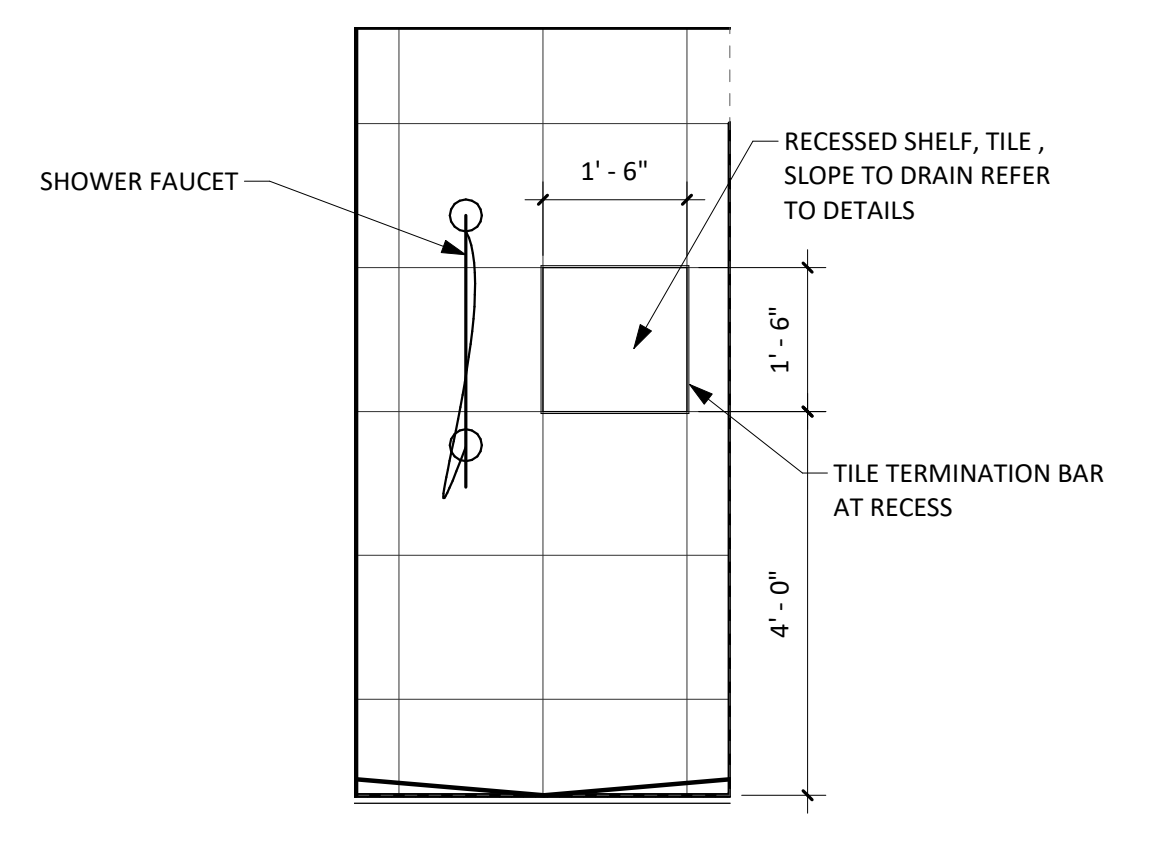
**4** M. BATH ELEVATION - A  
A-710 1/2" = 1'-0"



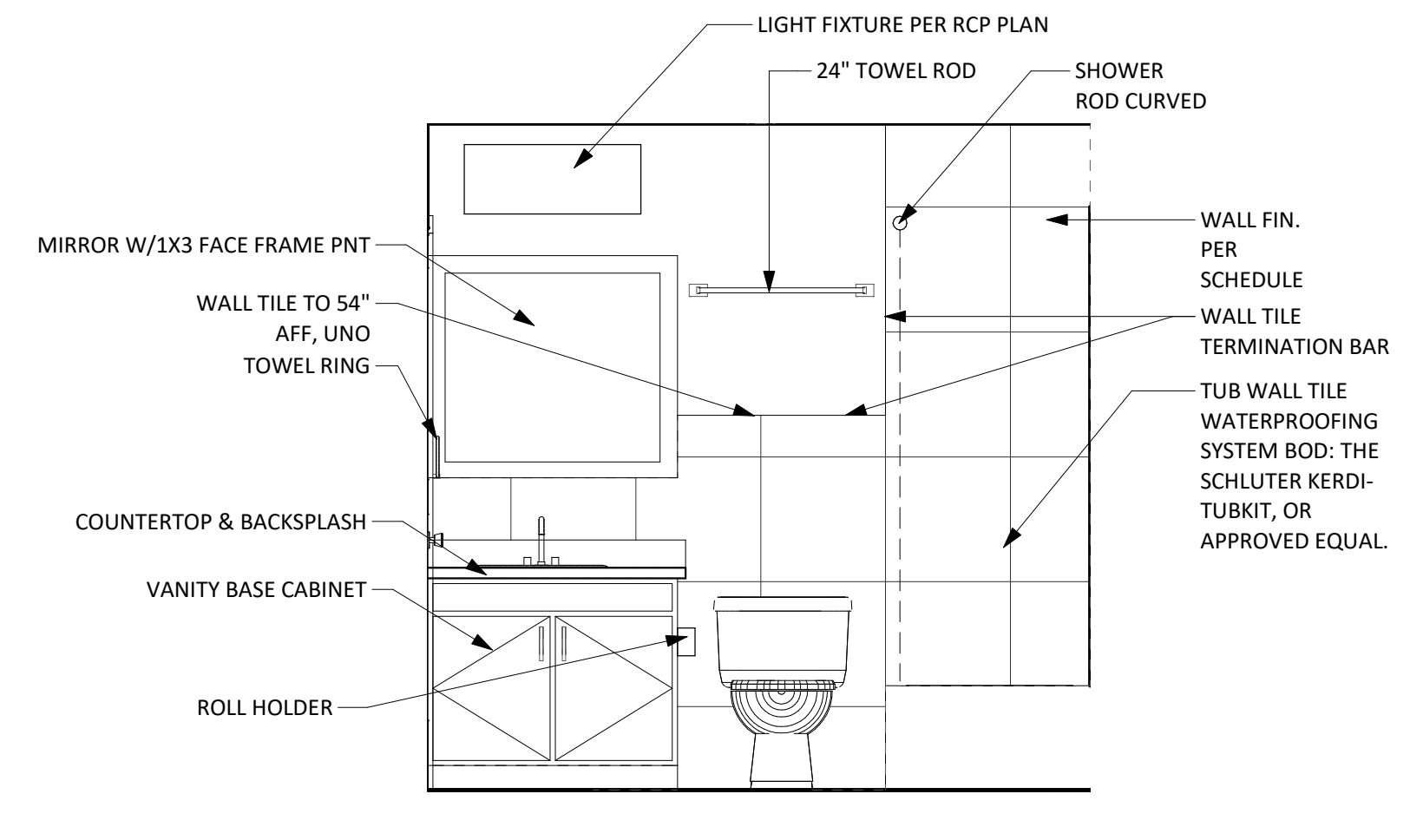
**5** M. BATH VANITY TYP. SIDE WALL  
A-710 1/2" = 1'-0"



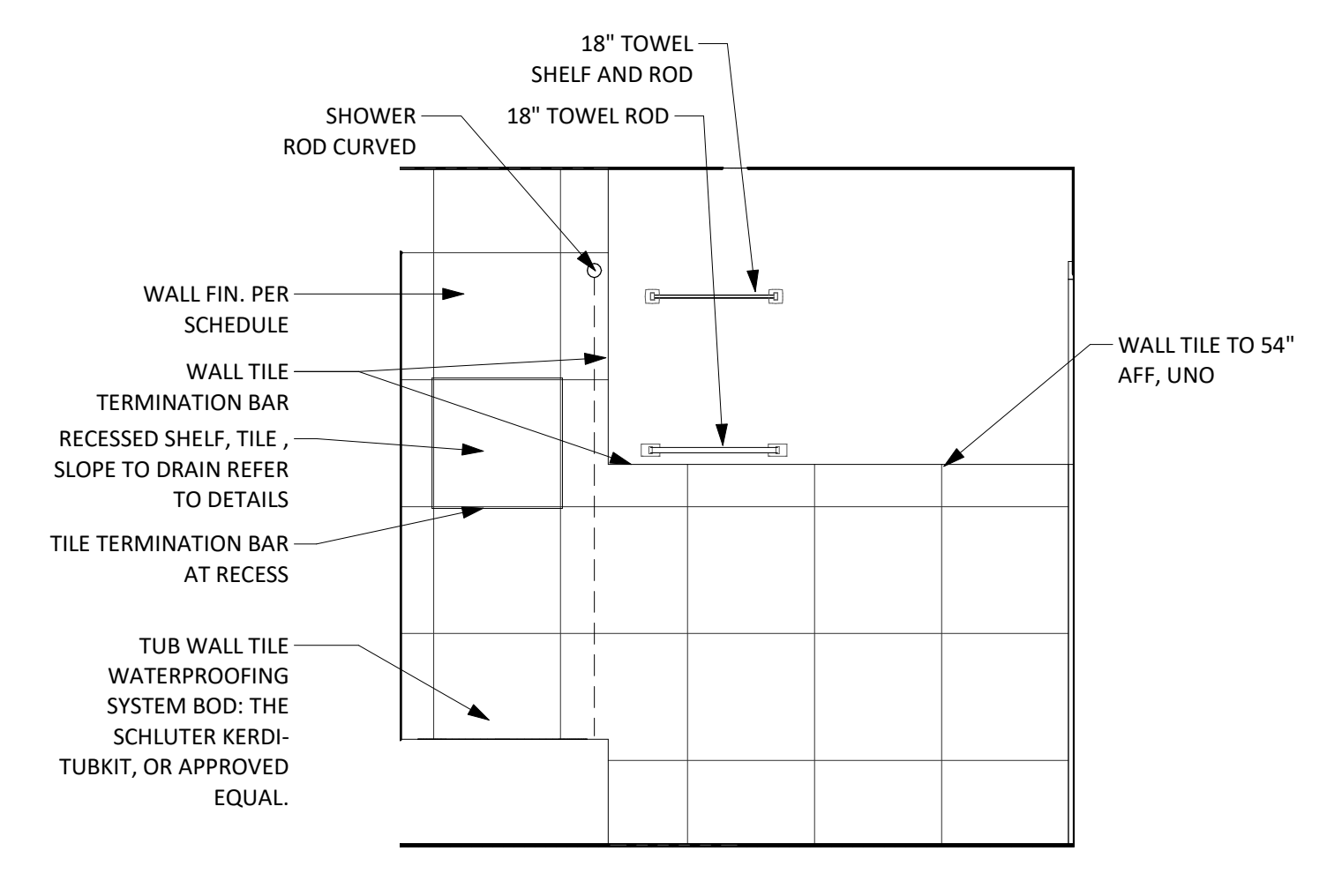
**6** M. BATH LAVATORY ELEVATION - A  
A-710 1/2" = 1'-0"



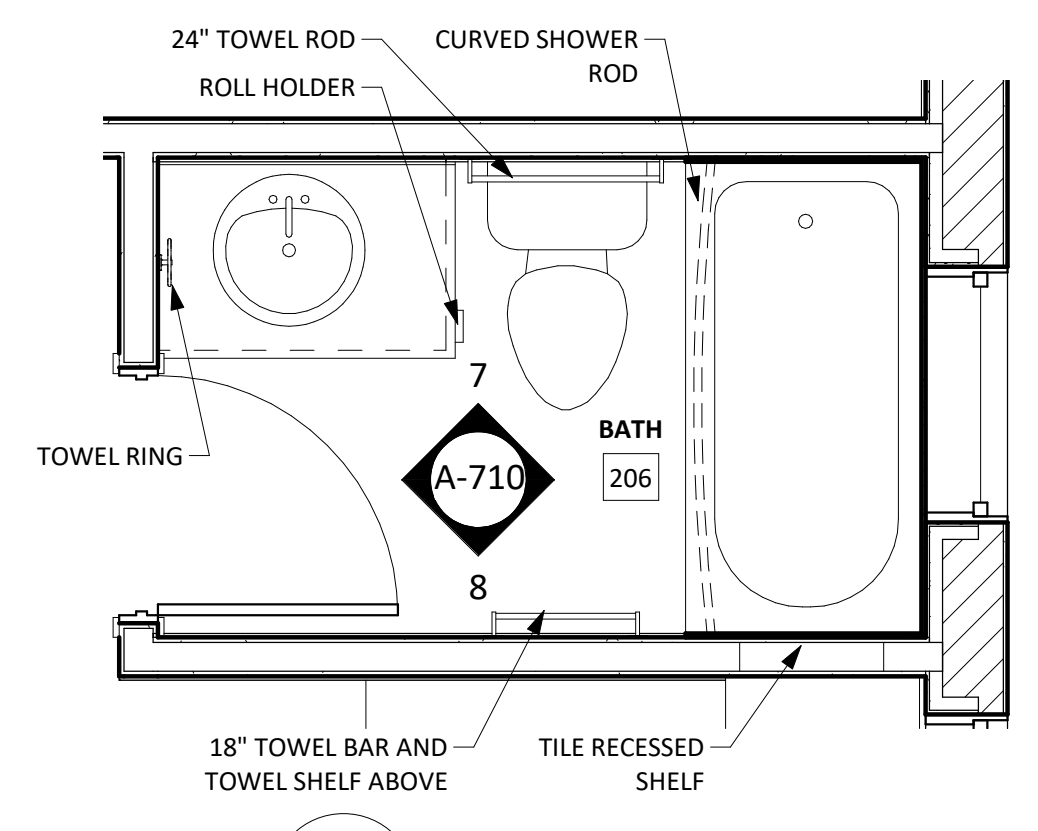
**3** M. BATH SHOWER WALL ELEVATION - A  
A-710 1/2" = 1'-0"



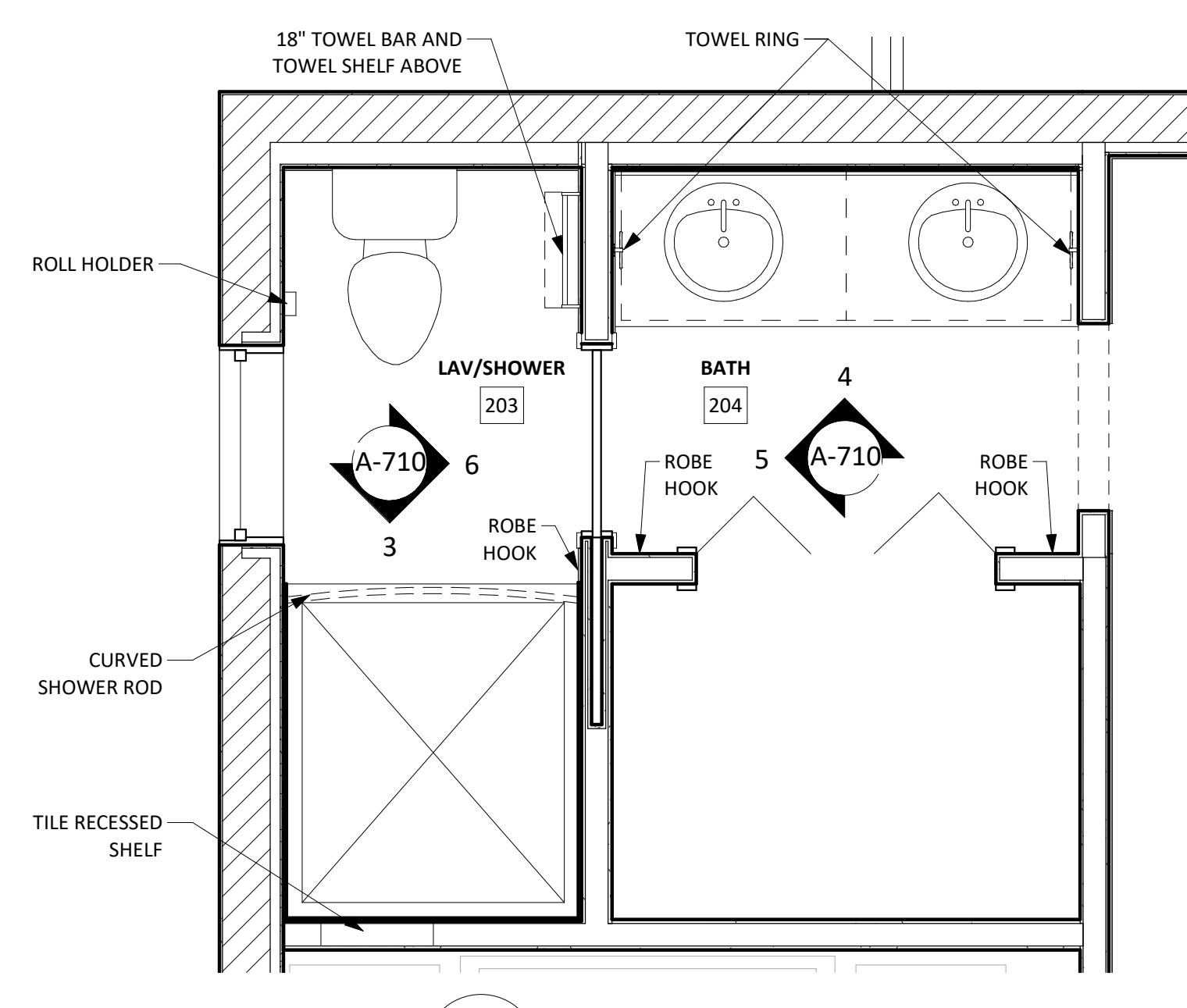
**7** FULL BATH ELEVATION - A  
A-710 1/2" = 1'-0"



**8** FULL BATH ELEVATION - B  
A-710 1/2" = 1'-0"



**9** REF. PLAN BATH 206  
A-710 1/2" = 1'-0"



**10** REF. PLAN BATH 204  
A-710 1/2" = 1'-0"

**BATHROOM ACCESSORIES BOD:**

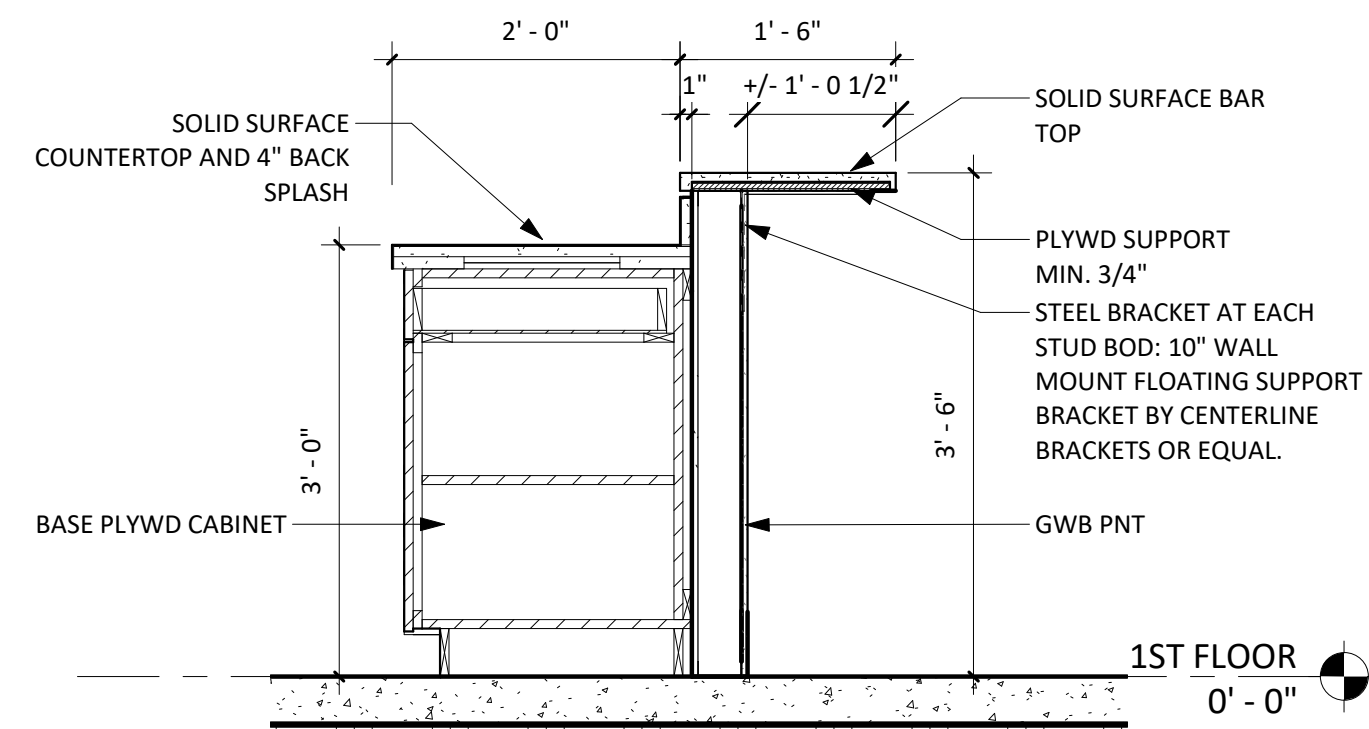
- BOD: MOEN, FINISH CHROME, OR APPROVED EQUALS.
- TOWEL BAR 18": BP6918CH
- TOWEL BAR 24": BP6924CH
- TOWEL SHELF W/RACK 24": DN0794CH
- SHOWER ROD CURVED: CSR2160CH
- TOWEL RING: BP6986CH
- TOILET PAPER HOLDER: BP6908CH
- ROBE HOOK: YB0403CH

**BATH & UTILITY ROOMS CABINETRY BOD:**

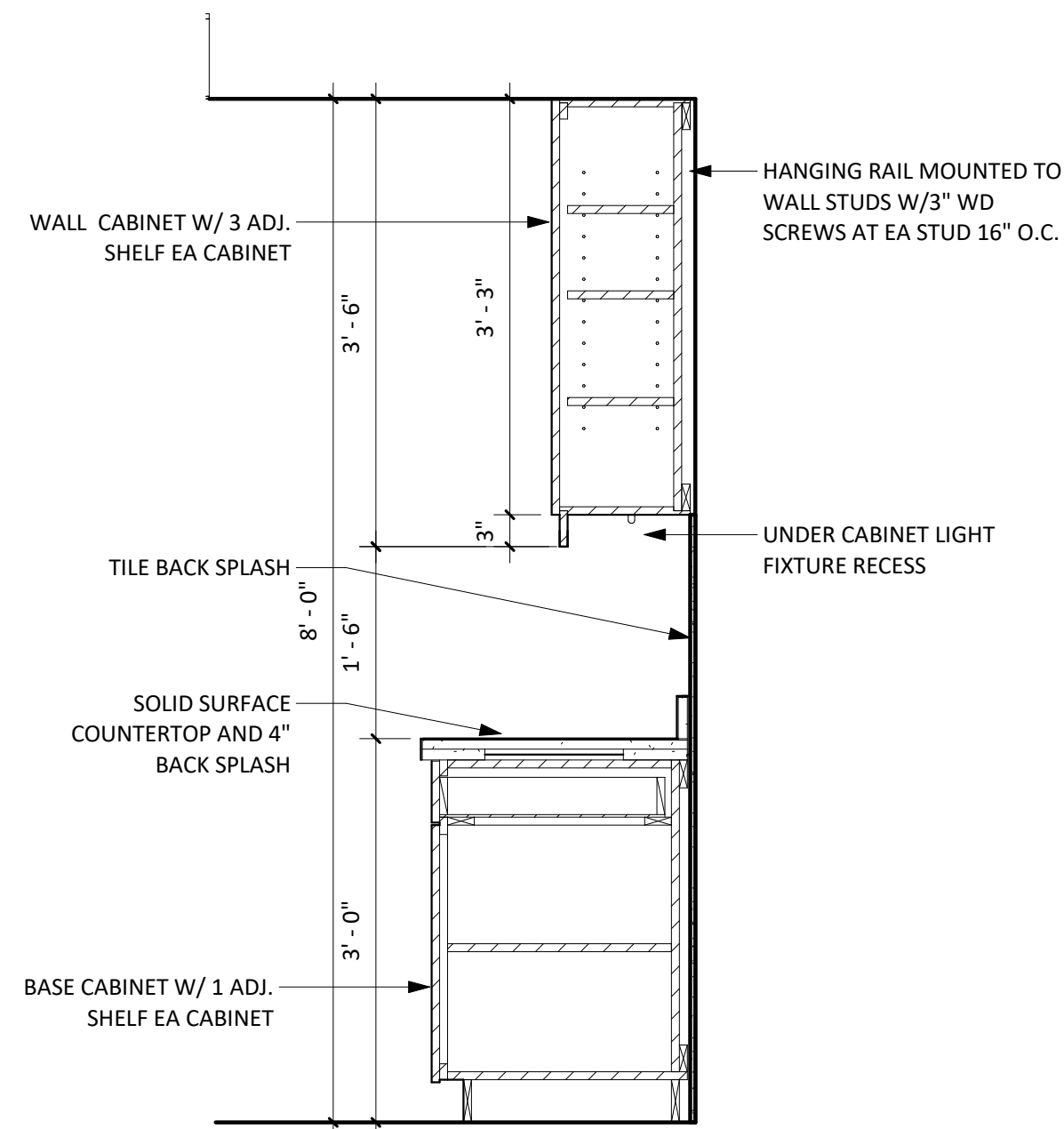
- BOD KRAFTMAID SUMMERFIELD COLLECTION, SQUARE RECESSED PANEL VENEER DOORS, DOVE WHITE OR APPROVED EQUALS.
- CABINET CONSTRUCTION TO BE ALL PRE-FINISHED PLYWOOD (APC).
- CABINET INTERIOR FINISH TO BE NATURAL BIRCH.

<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>		<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>		
DRAWN BY: Author CHECKED BY: Checker DQS PN#: 1713 DATE: 06.22.18	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION	
		<b>INTERIOR ELEVATIONS</b>		PERMIT SET  <h1 style="margin: 0;">A-710</h1>

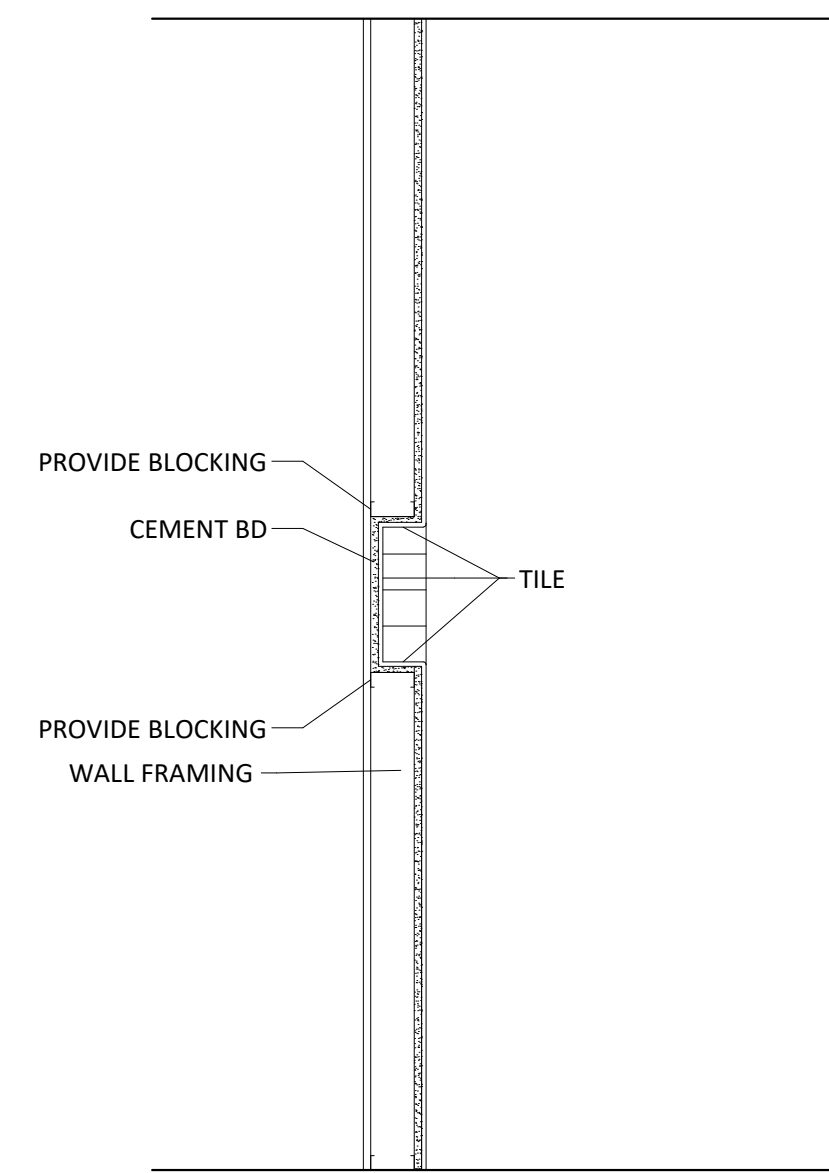




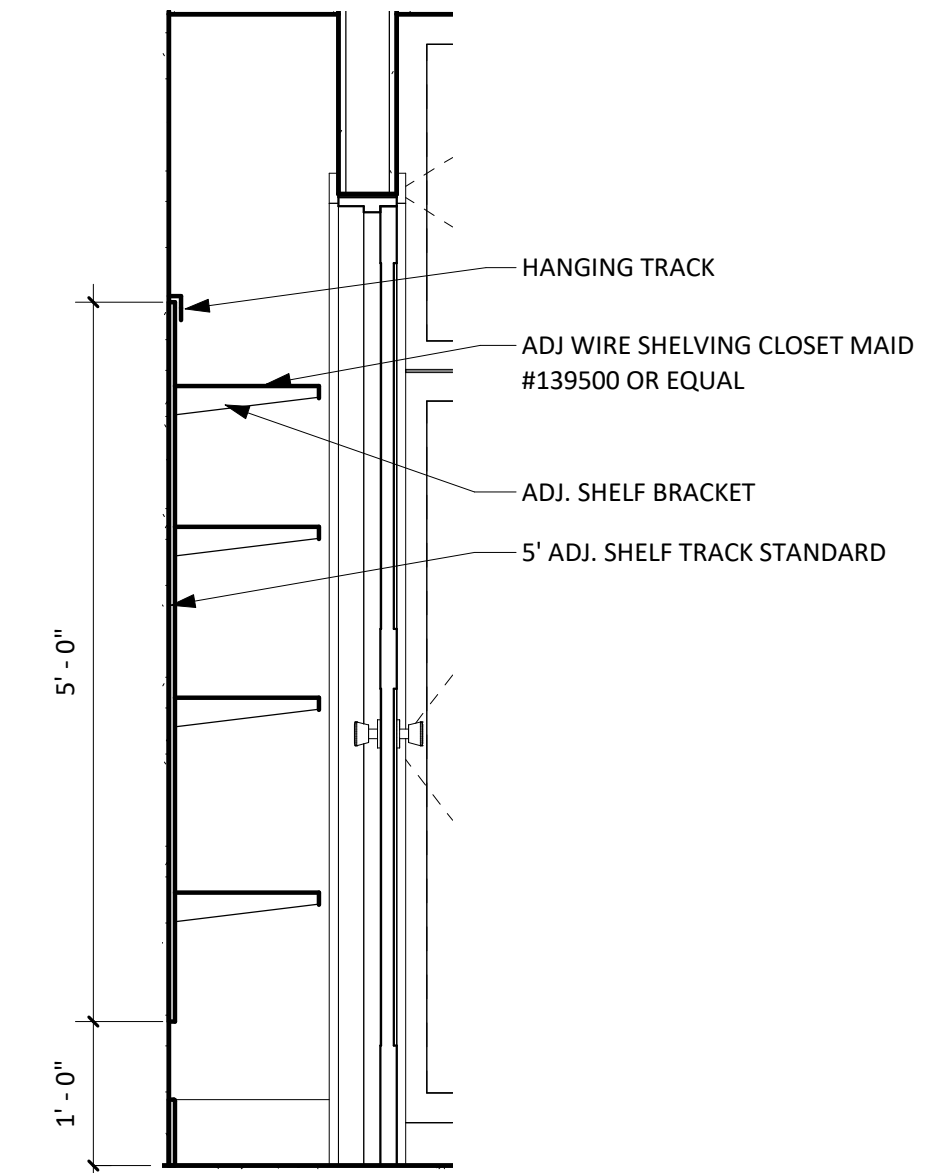
**1 SECTION ISLAND**  
A-720 3/4" = 1'-0"



**2 TYP. KITCHEN CASEWORK SECTION**  
A-720 3/4" = 1'-0"


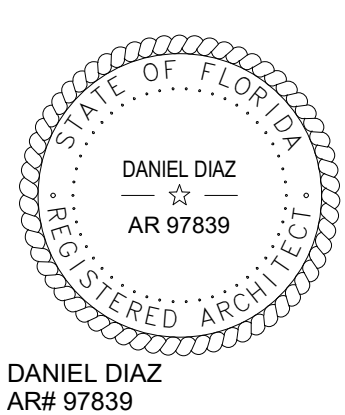


**3 BATHROOM TYP. SHELF RECESS DETAIL**  
A-720 3/4" = 1'-0"

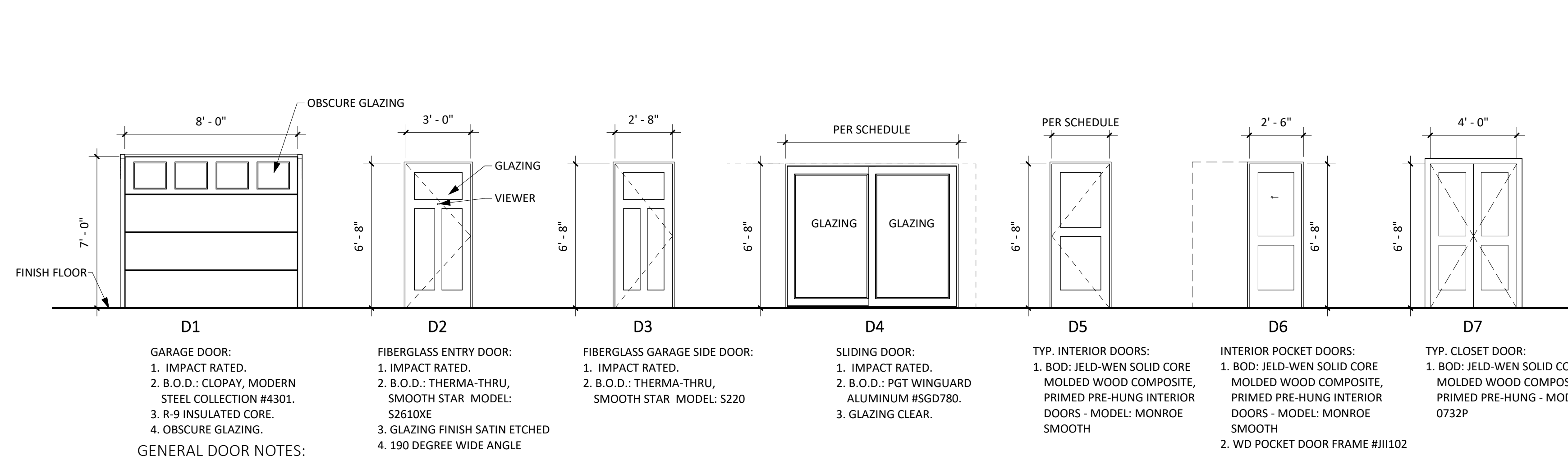


**4 ADJ. WIRE SHELVING DETAIL**  
A-720 3/4" = 1'-0"

6/22/2018 11:15:28 AM

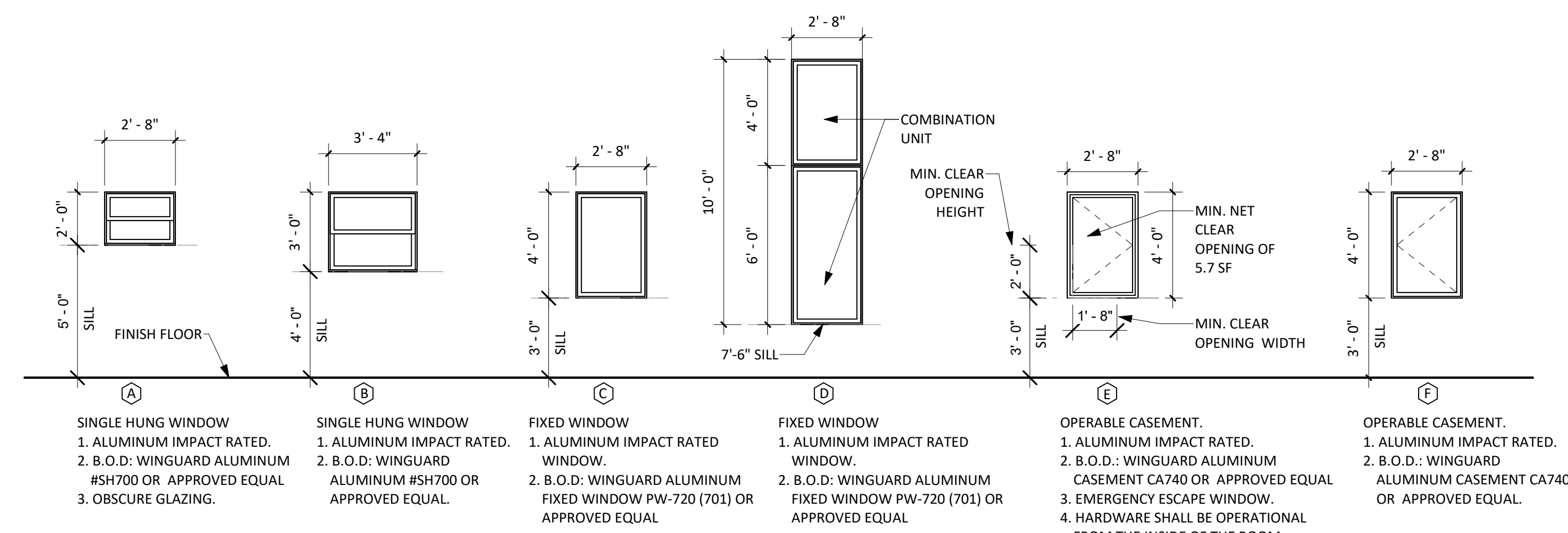
<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)</b>		<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>	
DRAWN BY: JQ	PROJECT SITE ADDRESS: Vacant Lot #673 West 1st Street Riviera Beach, FL 33404	#	REVISION
CHECKED BY: Checker			DATE
DQS PN#: 1713			
DATE: 06.22.18			
			
<small>LICENSE   AA 26003190 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 P (786) 239-1322 F (305) 223-6574 WWW.D-Q-S.COM</small>		<b>INTERIOR DETAILS</b>	
<small>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&amp;Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&amp;Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&amp;Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</small>		<b>PERMIT SET</b>  <b>A-720</b>	





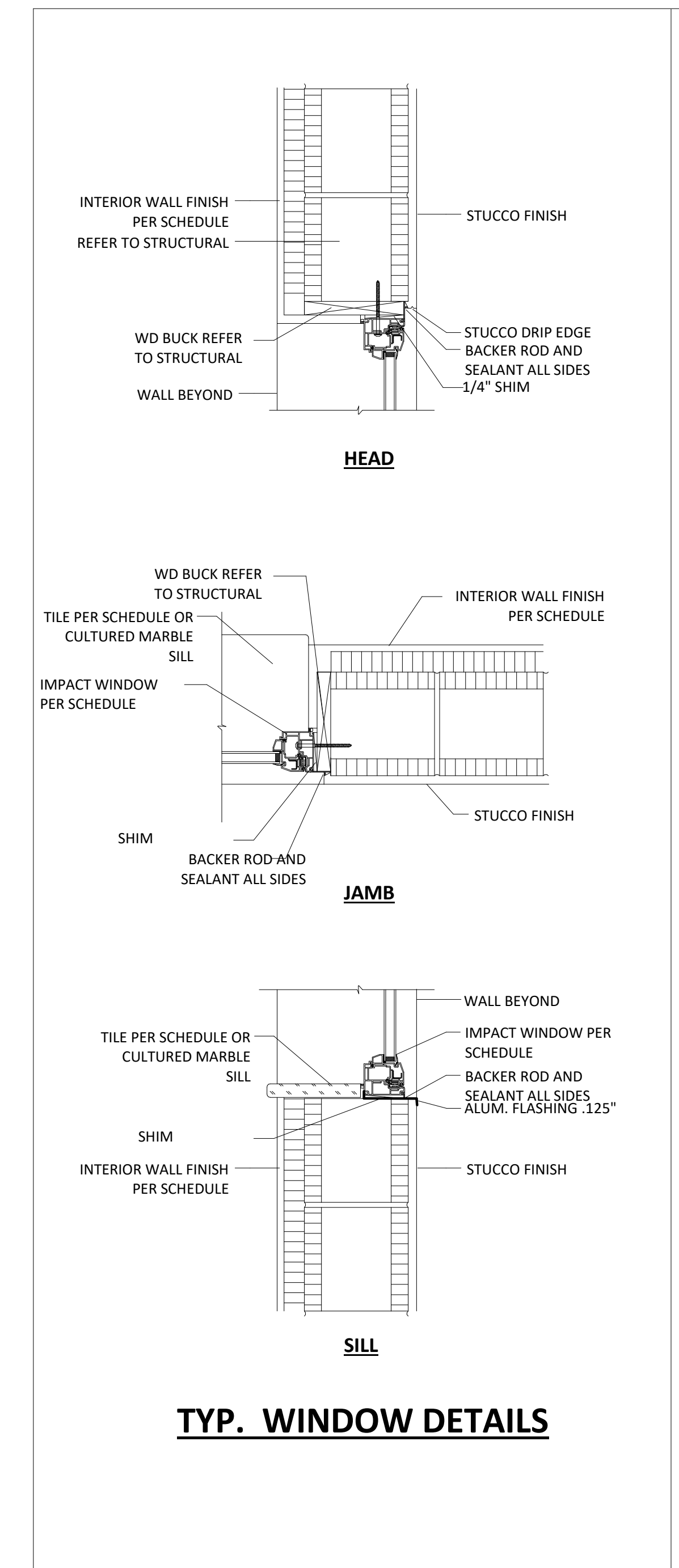
**GENERAL DOOR NOTES:**

1. ALL BASIS OF DESIGN (B.O.D.) ARE CONSIDER THE MINIMUM STANDARD FOR ANY SUBMITTED ALTERNATIVE PRODUCTS AND/OR MANUFACTURES.
2. ALL GLAZING BE IMPACT RATED.
3. COLOR PER OWNER SELECTION.
4. ALL DOOR TRIM TO BE 9/16 X 3-1/4 PRIMED PINE CASING, PER DETAIL.
5. CONTRACTOR TO PROVIDE ALL NECESSARY EXTENDERS, FLANGES, SEALANT, FLASHING AND ACCESSORIES TO PROVIDE A FINISHED WATERPROOF INSTALLED DOOR.
6. ALL DOOR HARDWARE TO BE PER NOA FOR EXTERIOR, INTERIOR TO BE SCHLAGE LEVEL 2, GRADE D OR APPROVED EQUAL.

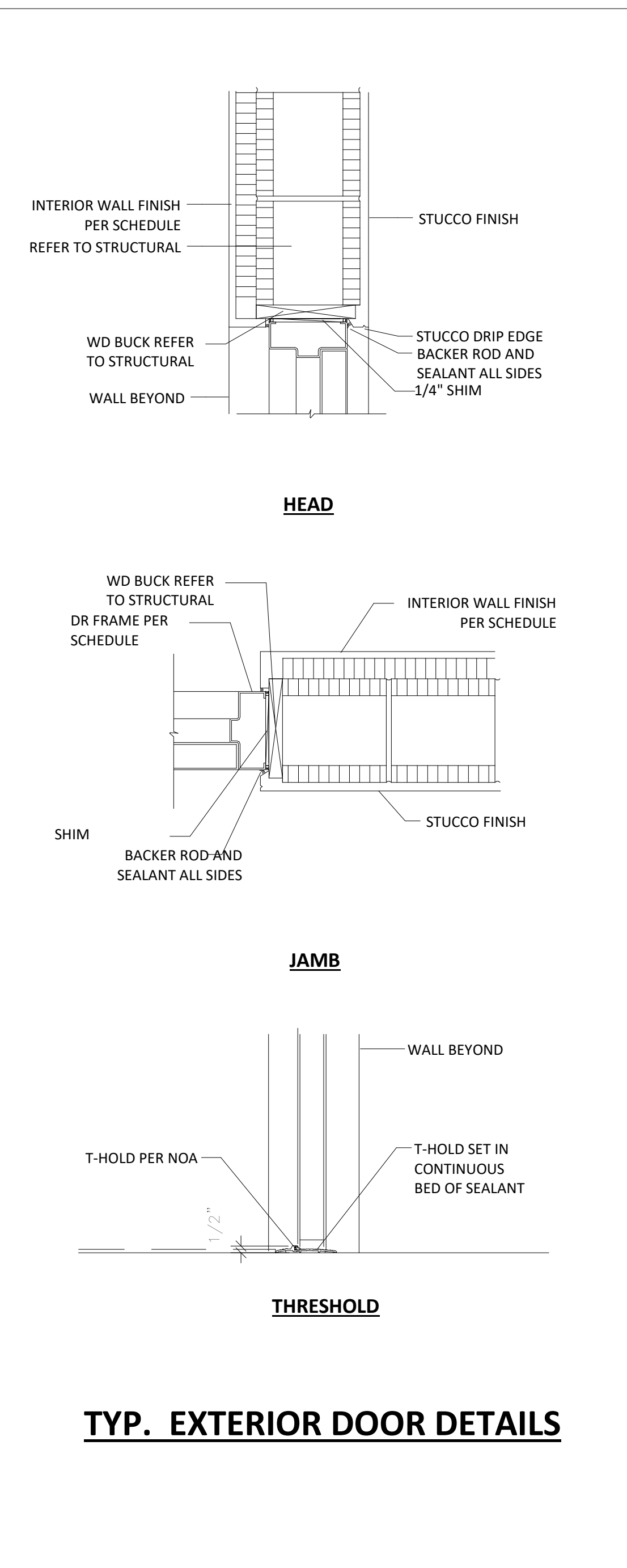


**GENERAL WINDOW NOTES:**

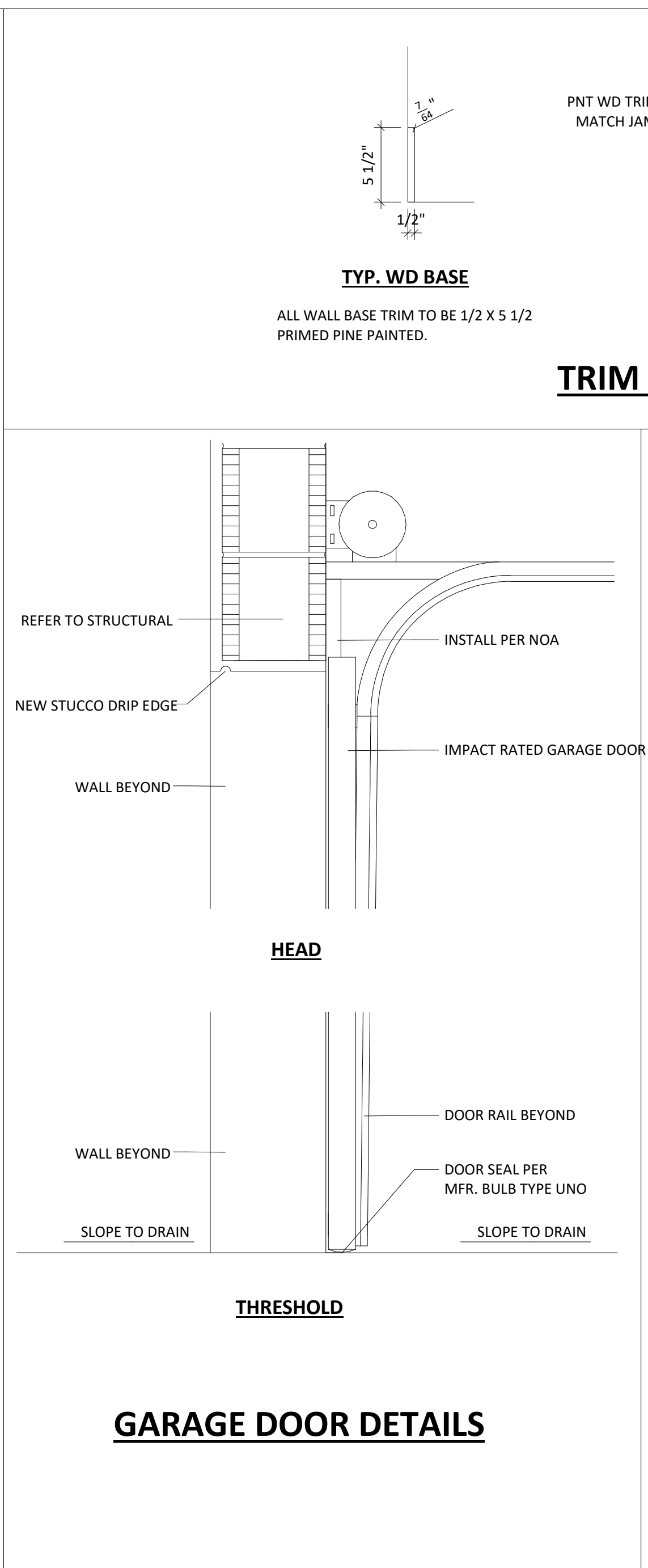
1. ALL WINDOWS TO BE BY PGT INDUSTRIES, INC. OR APPROVED EQUALS.
2. ALL BASIS OF DESIGN (B.O.D.) ARE CONSIDER THE MINIMUM STANDARD FOR ANY SUBMITTED ALTERNATIVE PRODUCTS AND/OR MANUFACTURES.
3. ALL GLAZING TO BE IMPACT RATED.
4. ALL GLAZING TO HAVE A MIN. SHGC = 0.25.
5. ALL WINDOWS TO HAVE SCREENS PER MFR.
6. COLOR PER OWNER SELECTION.
7. CONTRACTOR TO PROVIDE ALL NECESSARY EXTENDERS, FLANGES, SEALANT, FLASHING AND ACCESSORIES TO PROVIDE A FINISHED WATERPROOF INSTALLED WINDOW.



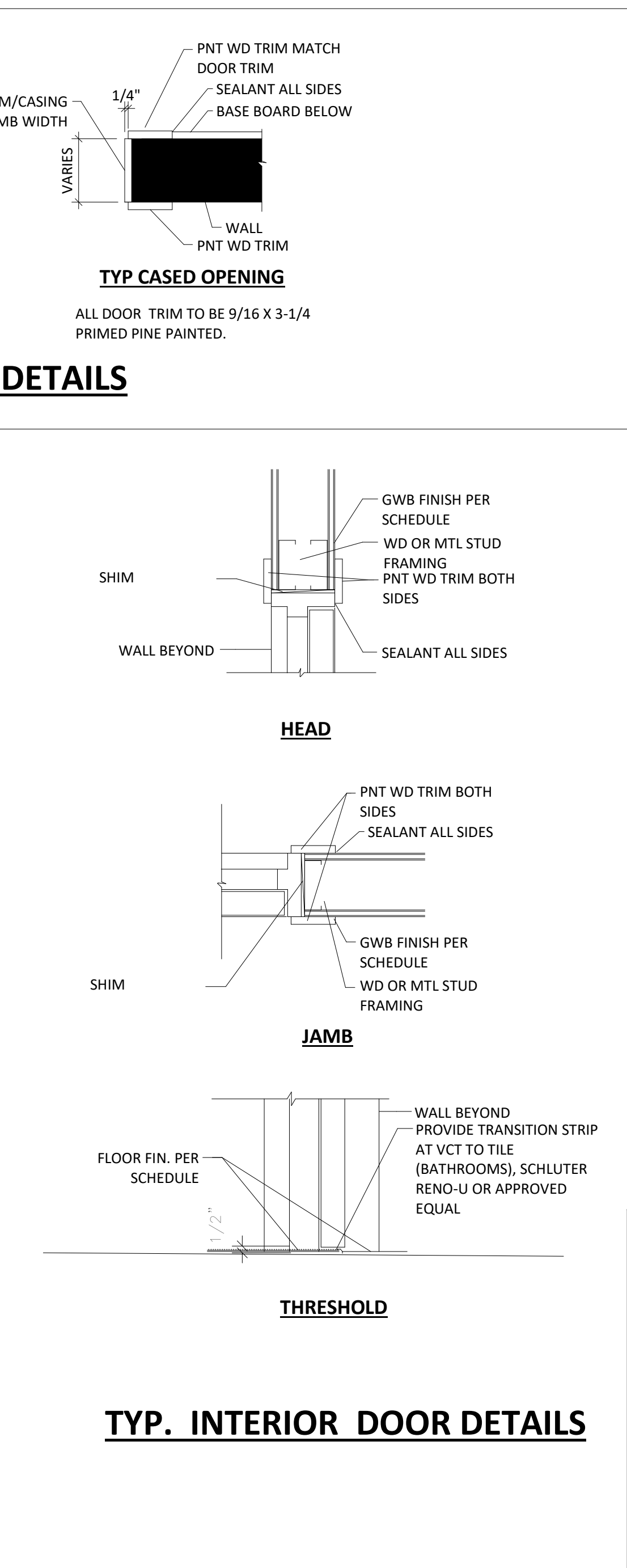
**TYP. WINDOW DETAILS**



**TYP. EXTERIOR DOOR DETAILS**

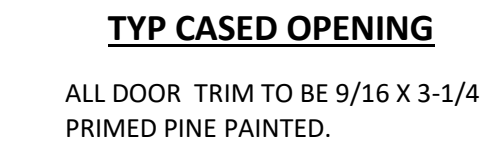


**GARAGE DOOR DETAILS**



**TYP. INTERIOR DOOR DETAILS**

**TRIM DETAILS**



DOOR SCHEDULE					
DOOR #	DR TYPE	DR HEIGHT	DR WIDTH	FRAME MAT.	COMMENTS
101A	D1	7' - 0"	8' - 0"	STL	PROVIDE DOOR OPENER
101B	D3	6' - 8"	2' - 8"	FIBERGLASS	
102A	D5	6' - 8"	2' - 8"	WD	
102B	D8	6' - 8"	2' - 8"	WD	
103	D5	6' - 8"	1' - 8"	WD	
105	D4	6' - 8"	8' - 0"	ALUM	
107	D5	6' - 8"	2' - 8"	WD	
108	D5	6' - 8"	2' - 8"	WD	PROVIDE 90 DEGREE DOOR STOP
109	D2	6' - 8"	3' - 0"	FIBERGLASS	
200	D5	6' - 8"	2' - 8"	WD	
201	D7	6' - 8"	4' - 0"	WD	
202	D5	6' - 8"	2' - 8"	WD	
203	D6	6' - 8"	2' - 6"	WD	
204	-	0' - 0"	0' - 0"		CASED OPENIGN MATCH DOOR TRIM
205A	D5	6' - 8"	2' - 8"	WD	
205B	D4	6' - 8"	6' - 0"	ALUM	
206	D5	6' - 8"	2' - 6"	WD	
209	D7	6' - 8"	4' - 0"	WD	
210	D5	6' - 8"	1' - 8"	WD	
211	D7	6' - 8"	4' - 0"	WD	

6/22/2018 11:15:29 AM

**RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (RBCDC)**  
**PROTOTYPE SINGLE FAMILY HOME 2 STORY**

DRAWN BY: JQ  
CHECKED BY: DD  
DQS PN#: 1713  
DATE: 06.22.18

PROJECT SITE ADDRESS:  
Vacant Lot #673 West 1st Street  
Riviera Beach, FL 33404

# REVISION DATE

DANIEL DIAZ  
AR 97839  
REGISTERED ARCHITECT

DANIEL DIAZ  
AR# 97839

LICENSE 1AA 26003190  
8245 S.W. 42ND STREET  
MIAMI, FLORIDA 33155  
P: (786) 239-1322  
F: (305) 223-6574  
WWW.D-Q-S.COM

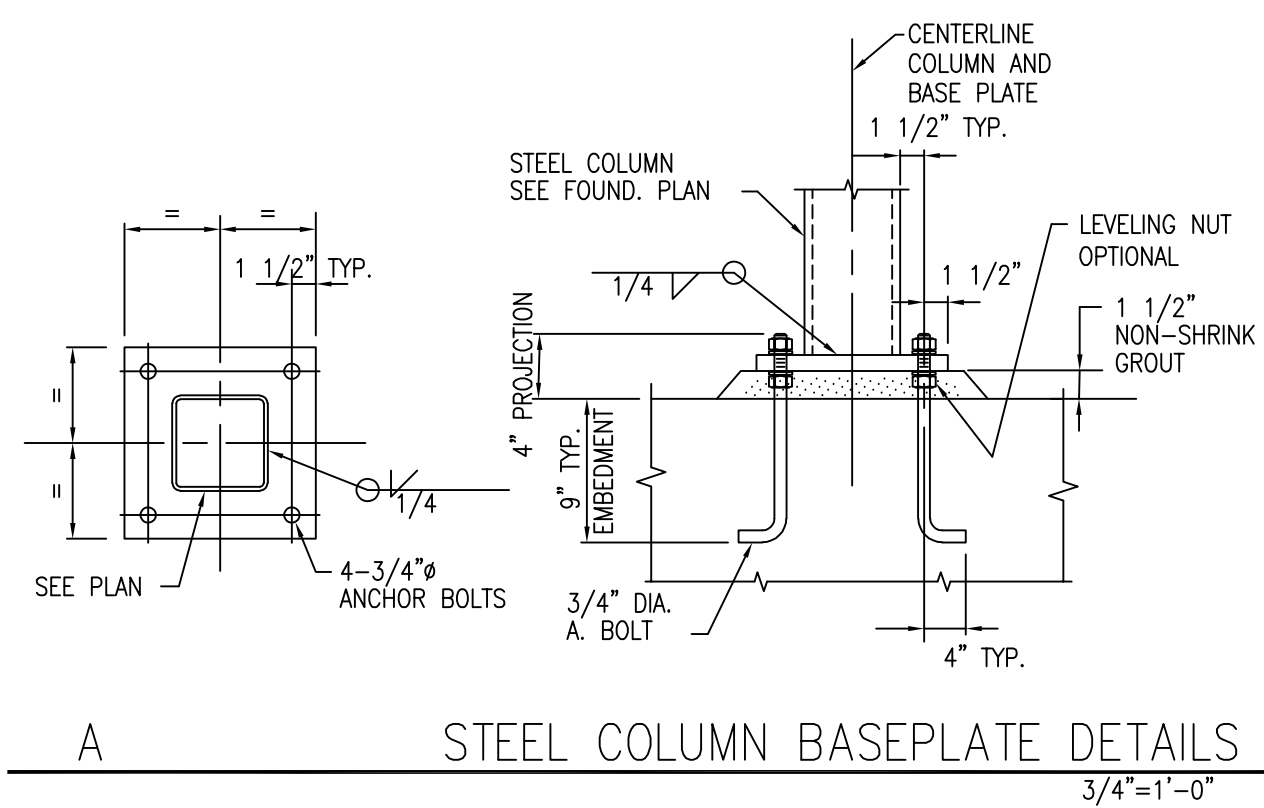
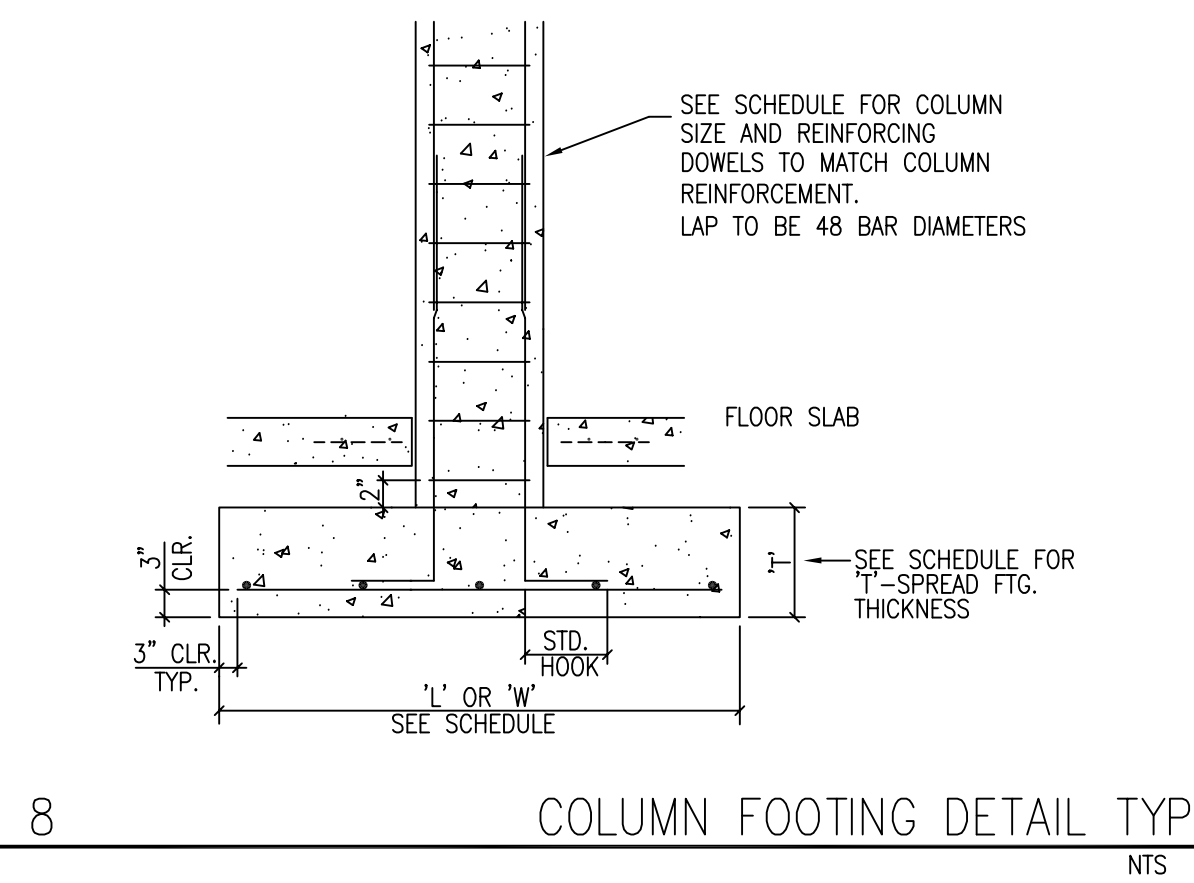
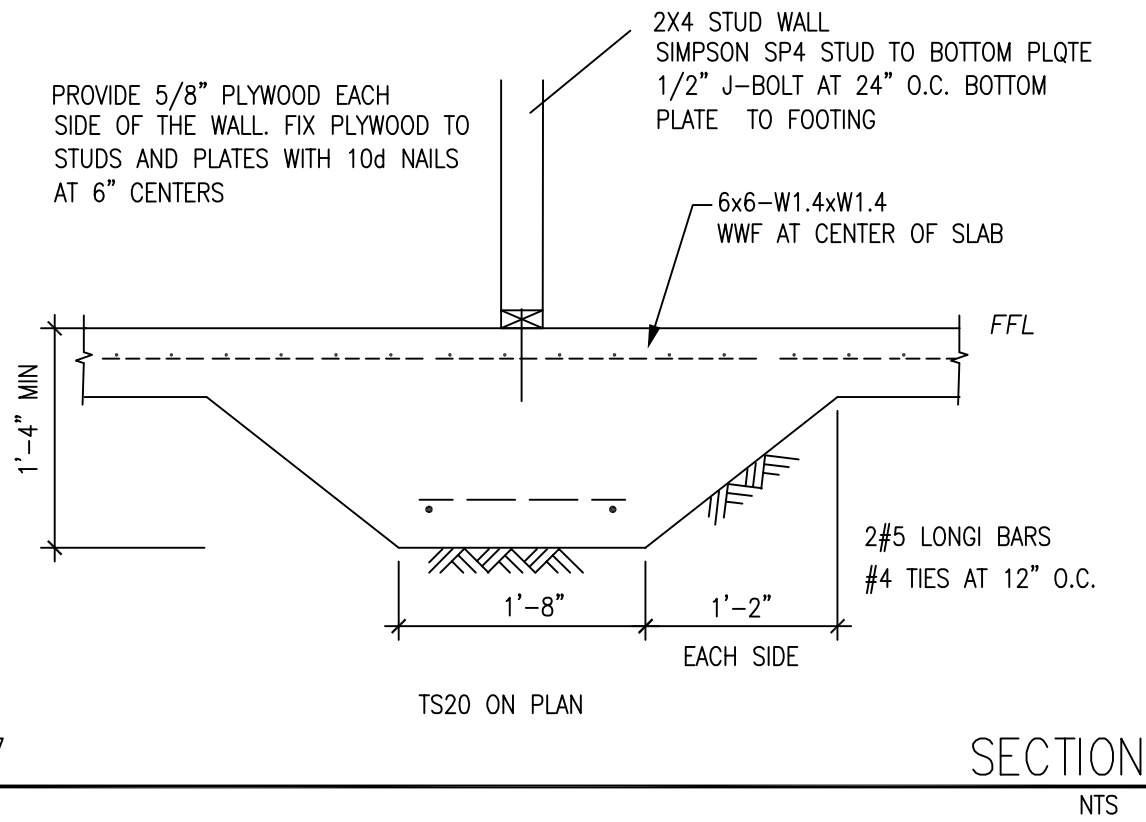
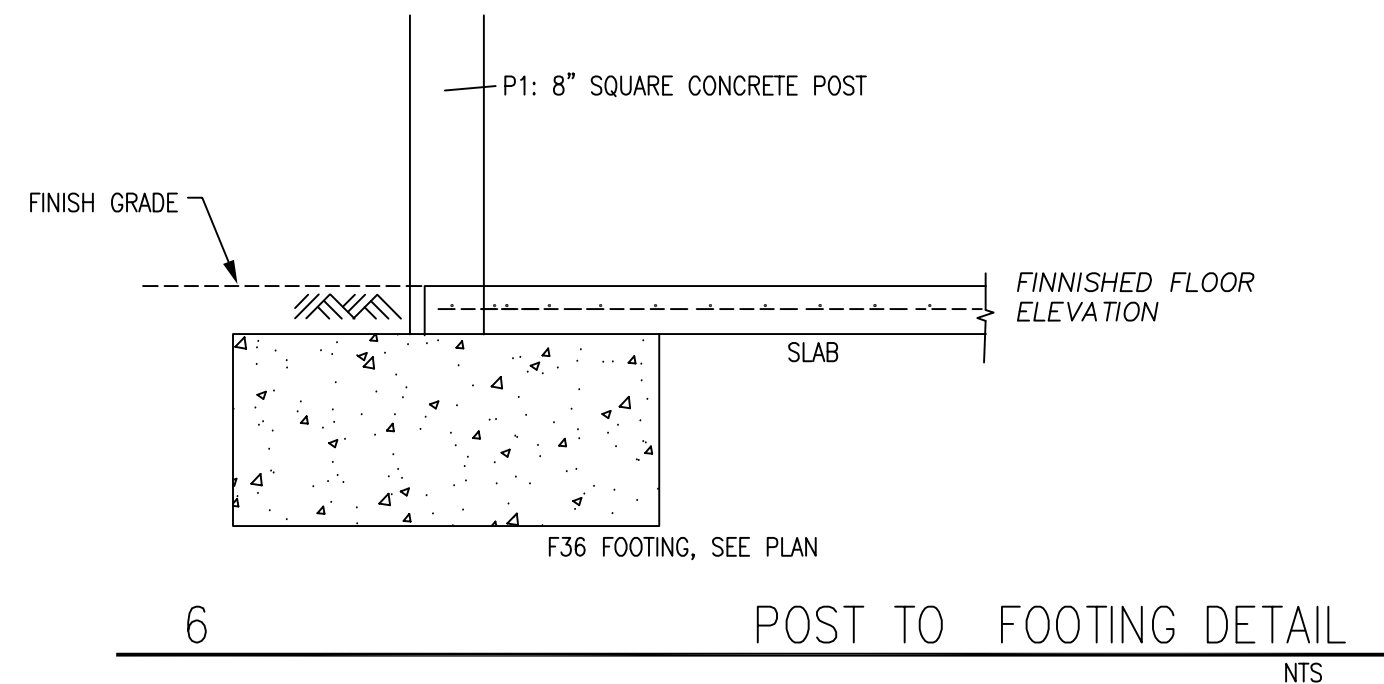
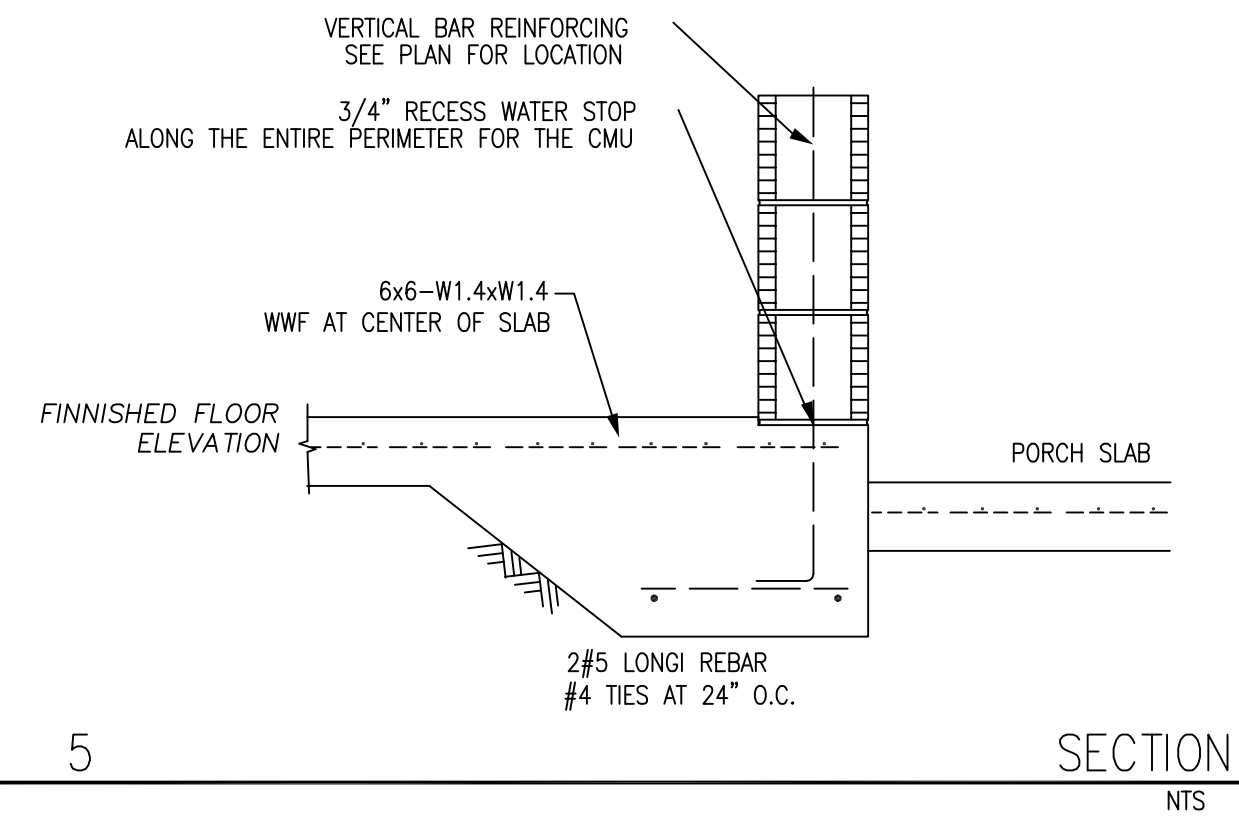
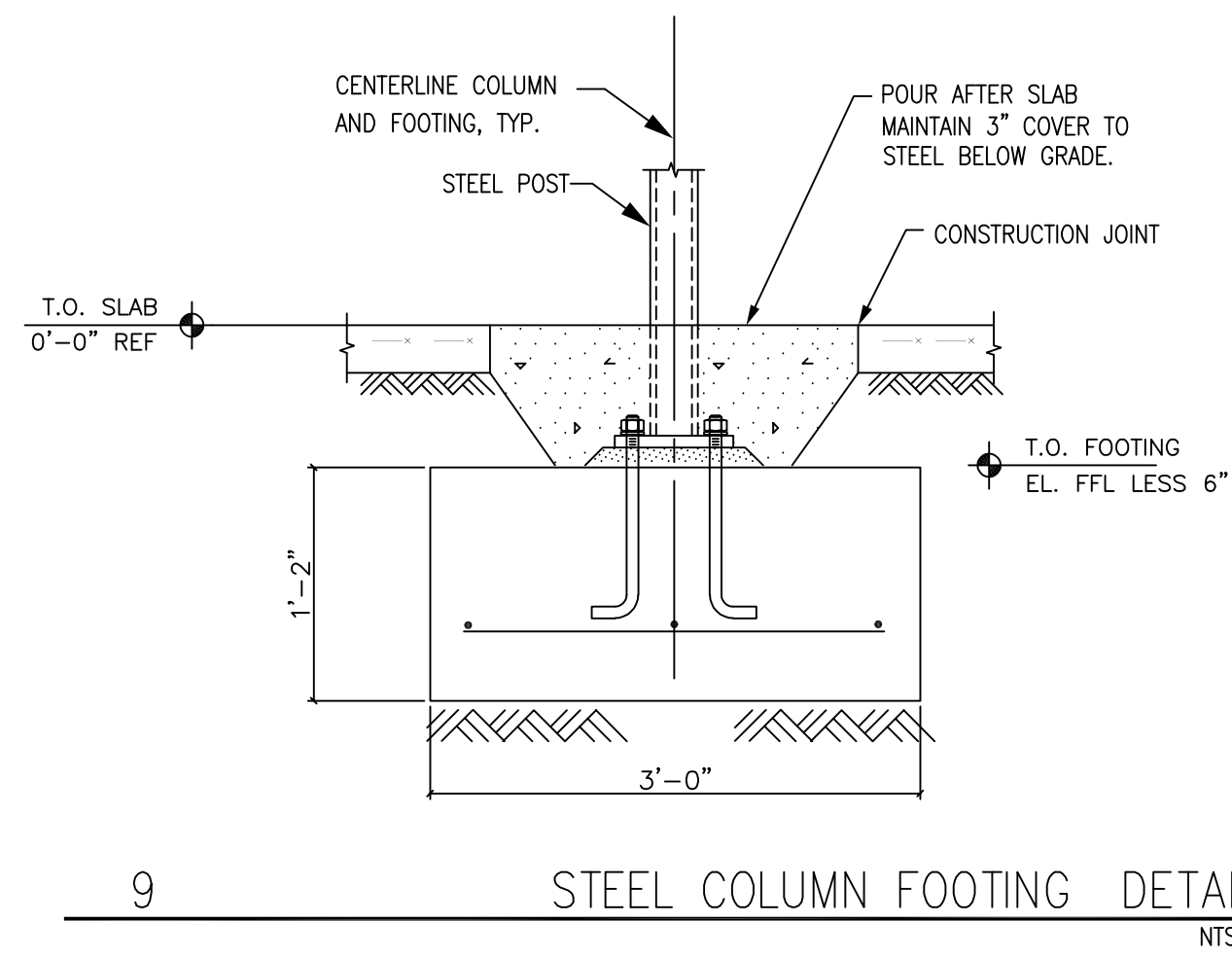
**DQ Studio / Architects**

© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.

**DOOR & WINDOW DETAILS**

PERMIT SET  
**A-800**





- FOUNDATION PLAN NOTES:**
- ALLOWABLE NET SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR IS TO CONFIRM THIS BEFORE EXCAVATING.
  - F\*\*... ETC INDICATES CONCRETE SPREAD FOOTING. e.g. F36 INDICATES A FOOTING 36" SQUARE
  - WHERE THERE IS A DISCREPANCY BETWEEN DIMENSIONS ON THE CONSTRUCTION DRAWINGS, CONTACT THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING.
  - FOUNDATION CONCRETE SHALL HAVE  $F_c = 2500$  PSI AT 28 DAYS.
  - ALL REINFORCING STEEL SHALL BE  $F_y = 60,000$  PSI.
  - PROVIDE CONTROL JOINTS IN THE SLAB ON GRADE AT 12 FT MAXIMUM CENTERS. CONTROL JOINTS SHALL FORM SQUARED SLAB PANELS.
  - MINIMUM LAP LENGTH OF REINFORCING STEEL AT SPLICES SHALL BE 32 BAR DIAMETERS MINIMUM UNO. DO NOT WELD REBAR.
  - REINFORCING SHALL BE PLACED AT CORNERS IN FOOTINGS, WALLS AND BOND BEAMS TO MAINTAIN CONTINUOUS REINFORCING.

**CONT. WALL FOOTING SCHEDULE**

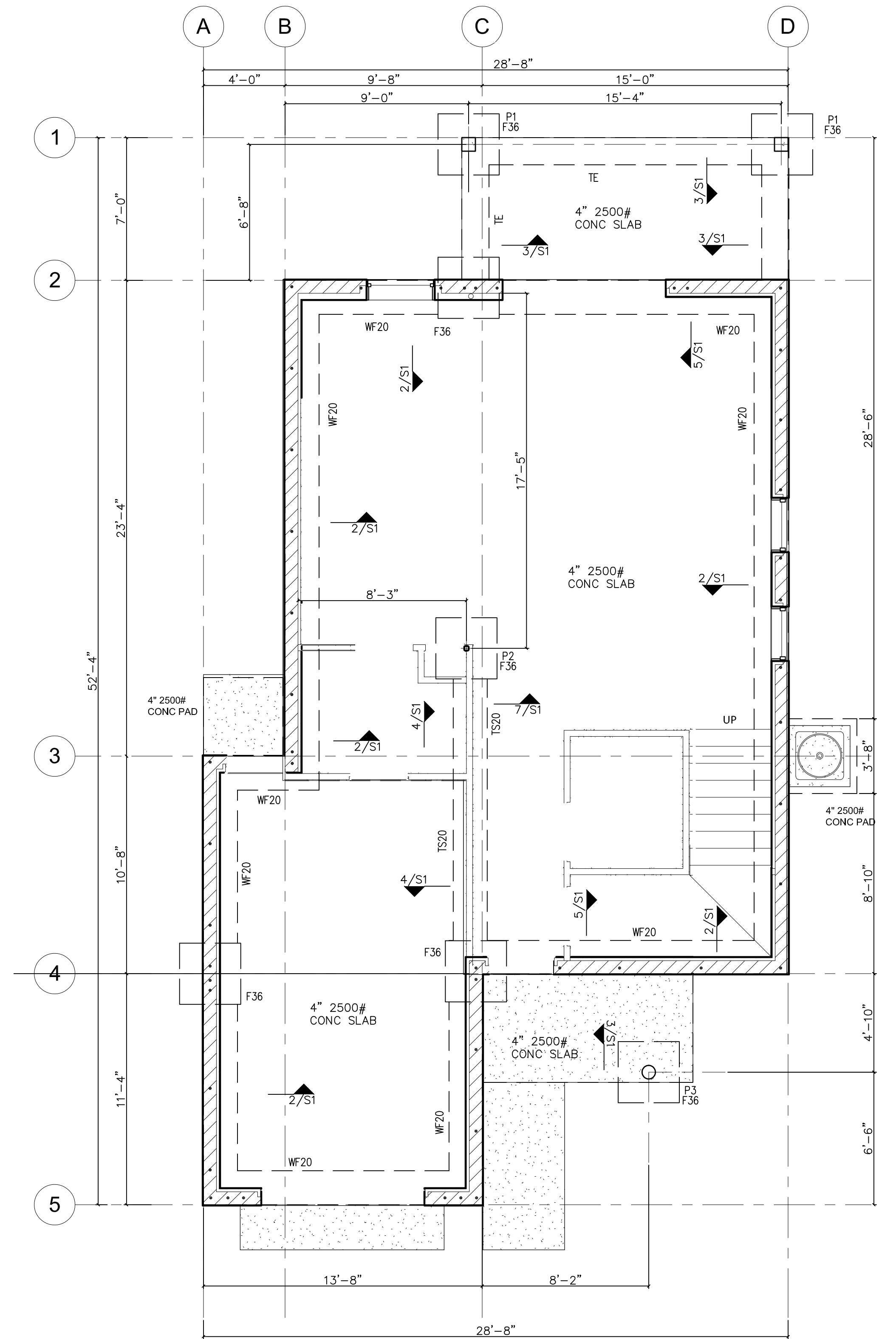
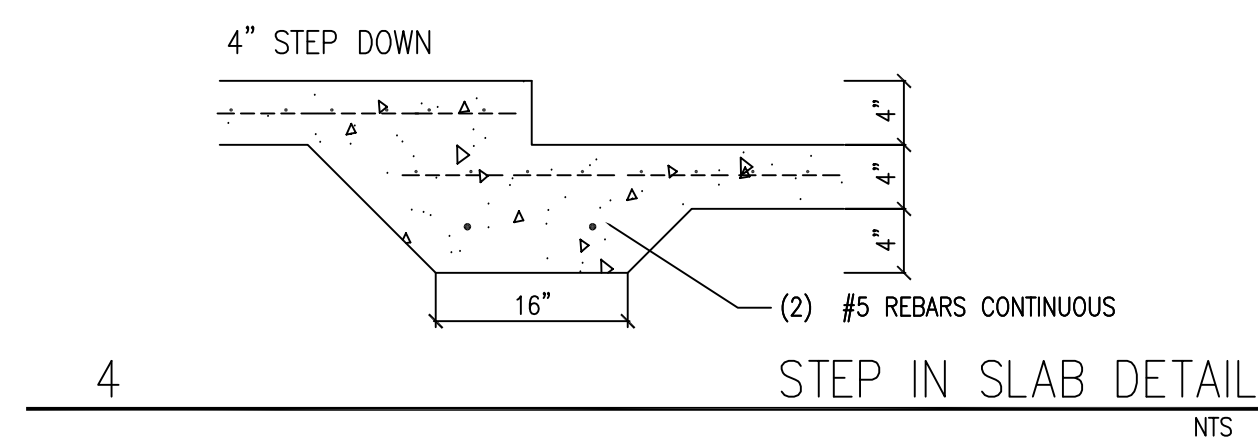
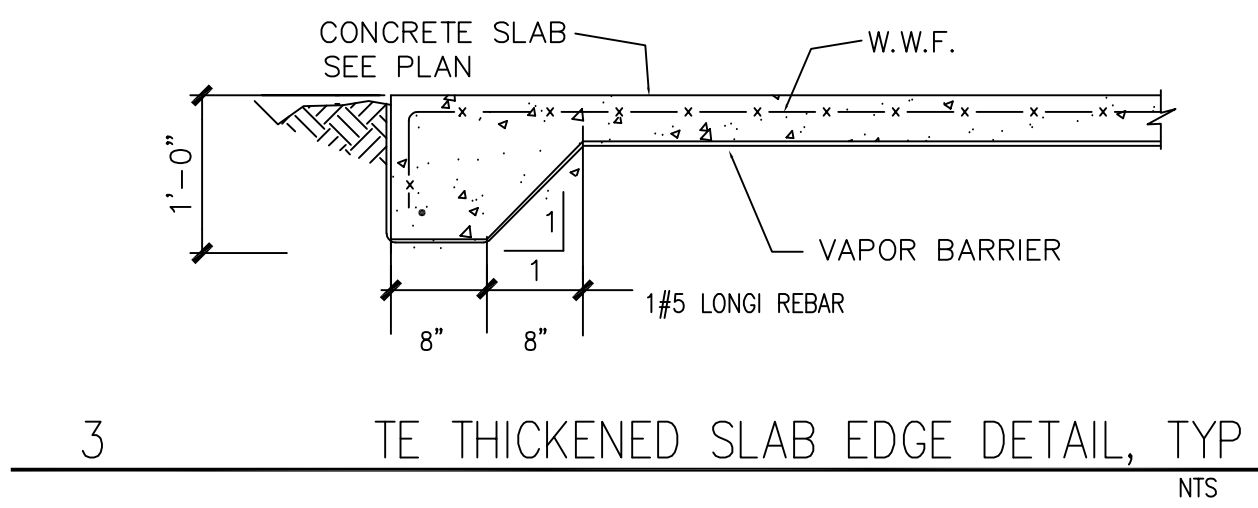
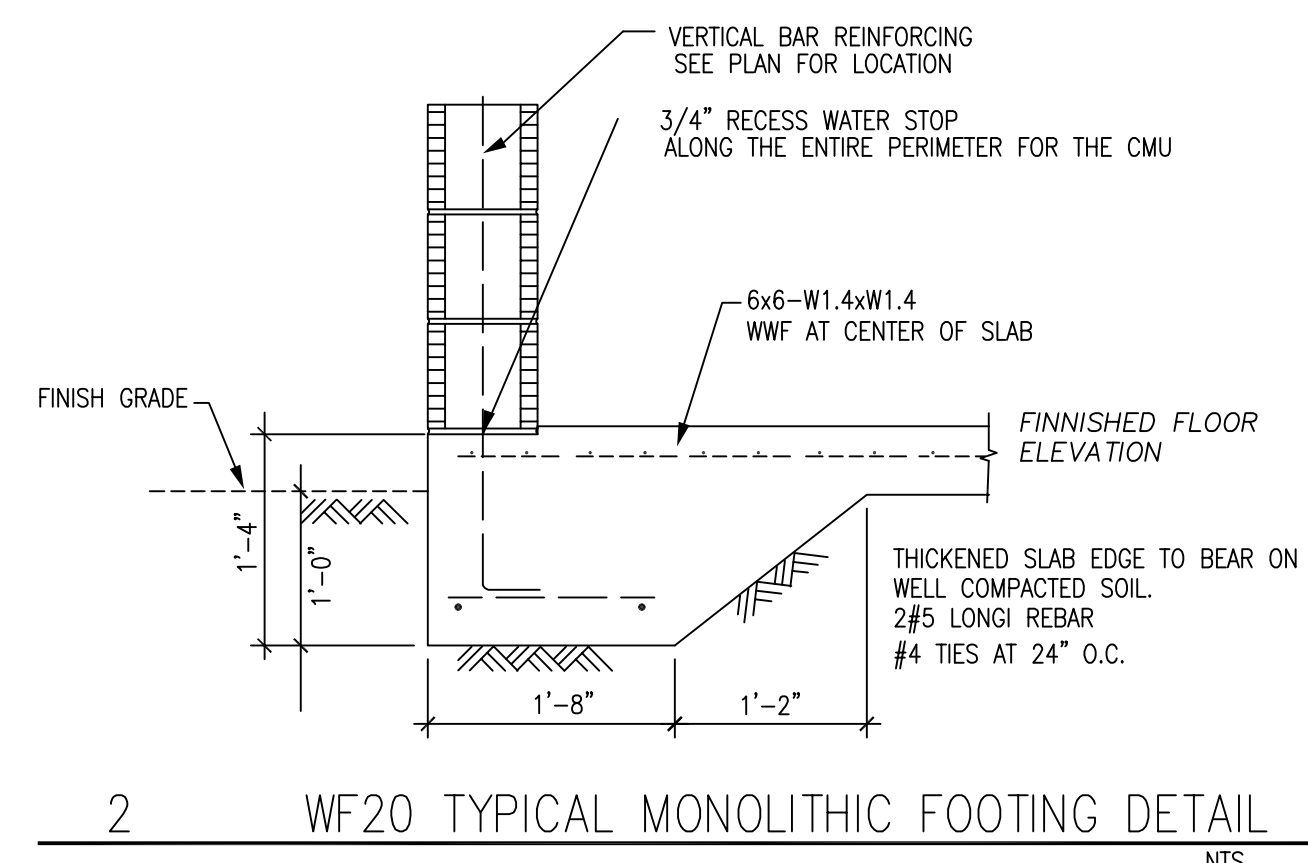
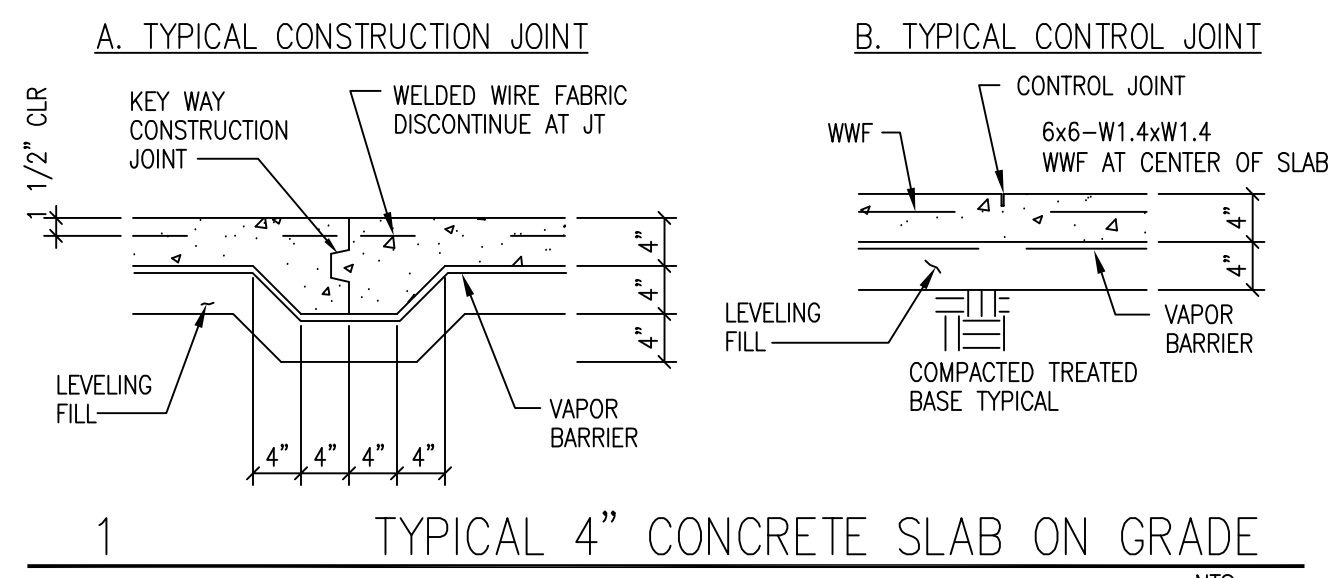
MARK	FOOTING SIZE	REINFORCING
WF20	1'-8"x16" CONT.	2-#5 L.W. CONT. + #4 @ 12" S.W. BOT.
TE20	1'-8"x16" CONT.	2-#5 L.W. CONT. + #4 @ 12" S.W. BOT.

**SPREAD FOOTING SCHEDULE**

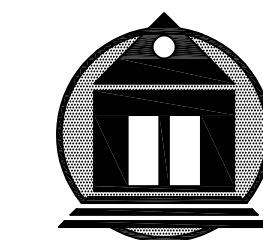
MARK	FOOTING SIZE	REINFORCING	REMARKS
F36	3'-0"x3'-0"x14"	3-#5 BOT. E.W.	

**POST SCHEDULE**

MARK	SIZE	DETAILS
P1	8"x8" RC	CONCRETE POST, 4000 PSI CONCRETE 4#5 VERTICAL BARS #3 TIES AT 8" O.C.
P2	HSS3x3x1/4	STEEL POST 9"x9"x3/4" BASE PLATE, 4- 3/4" AB, 9" EMBEDMENT TO FOOTING 1/4" TOP PLATE AND U-BRACKET TO BEAM
P3	HSS6.000x0.250	STEEL POST 12"x12"x3/4" BASE PLATE, 4- 3/4" AB, 9" EMBEDMENT TO FOOTING 1/4" TOP PLATE AND U-BRACKET TO BEAM



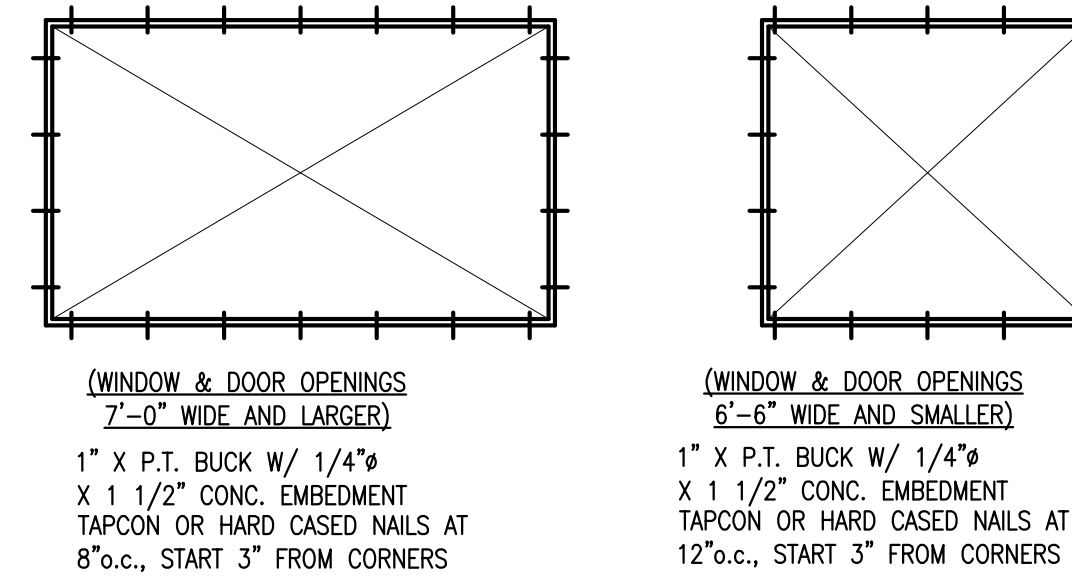
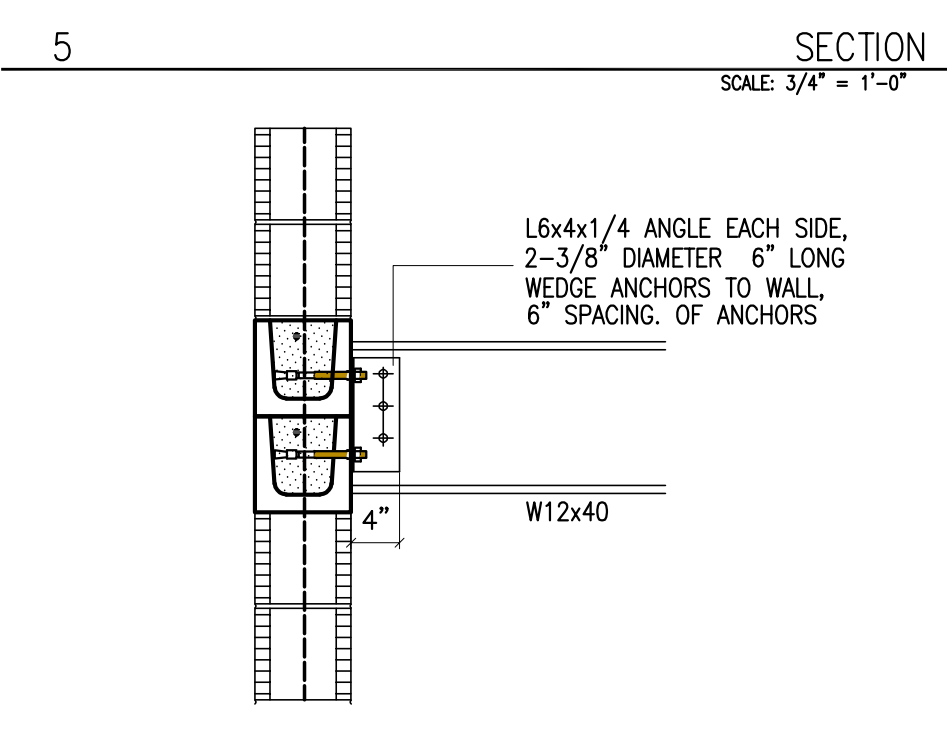
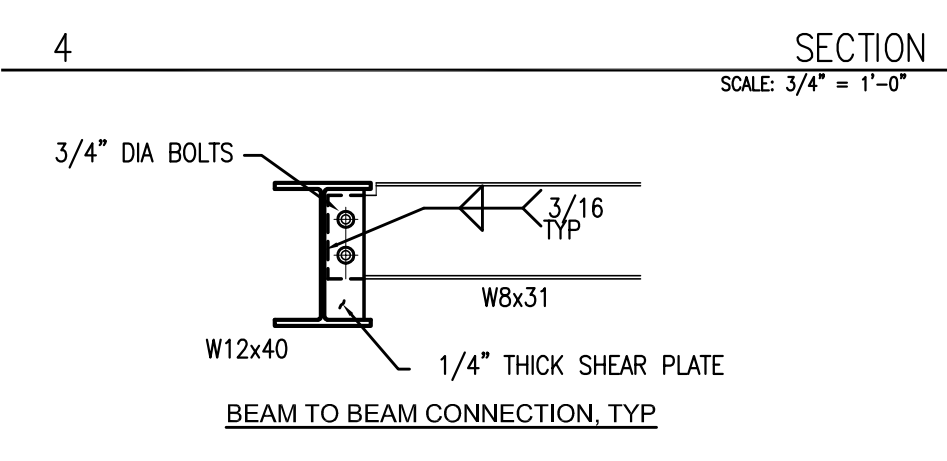
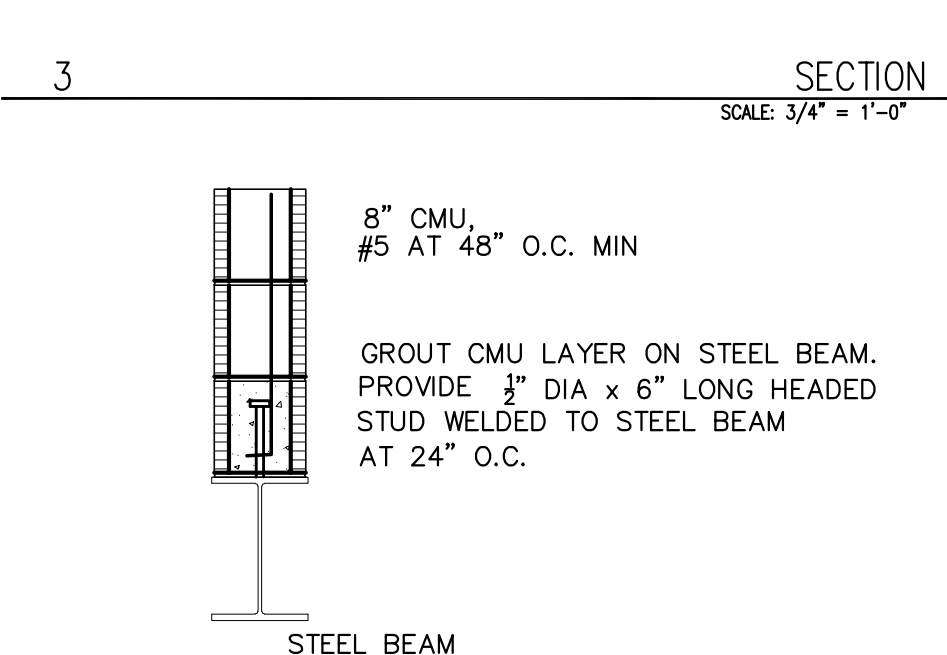
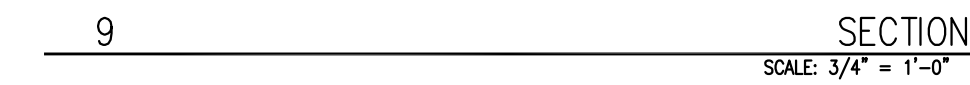
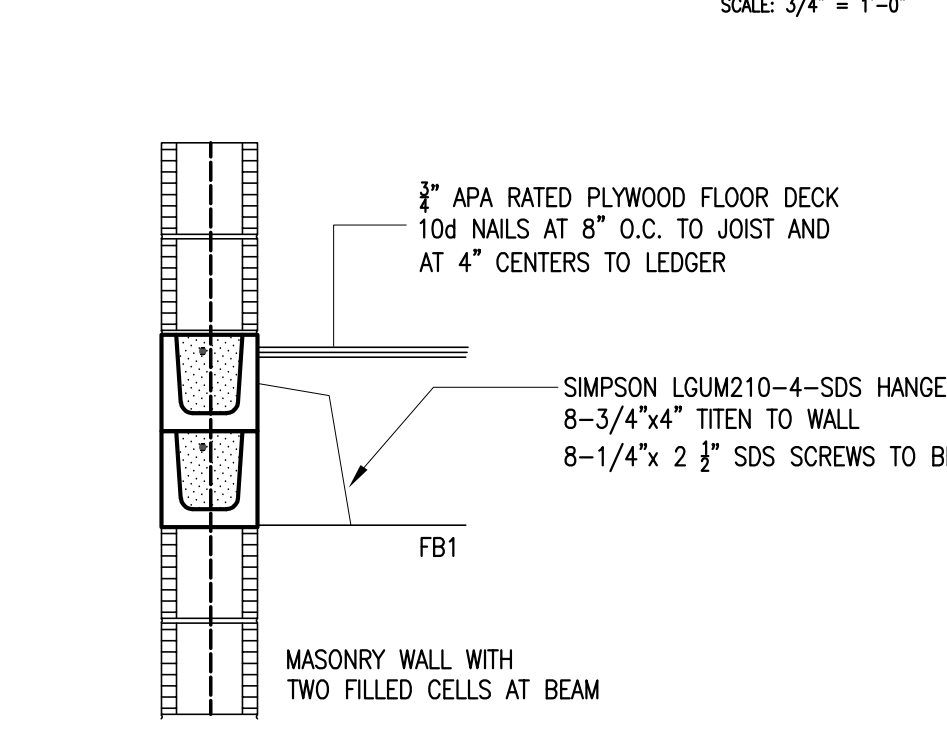
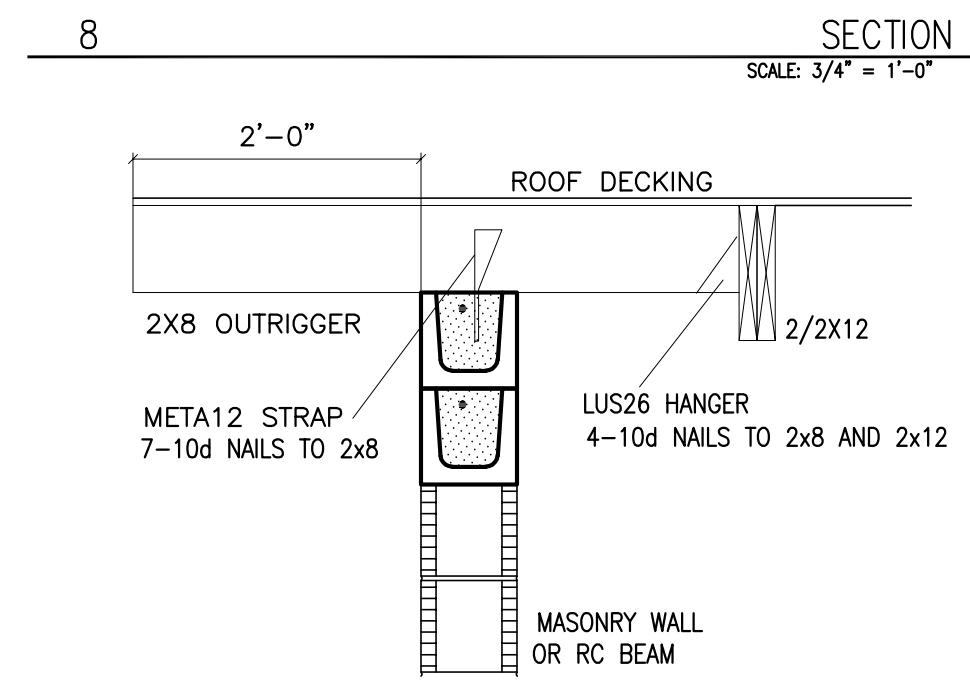
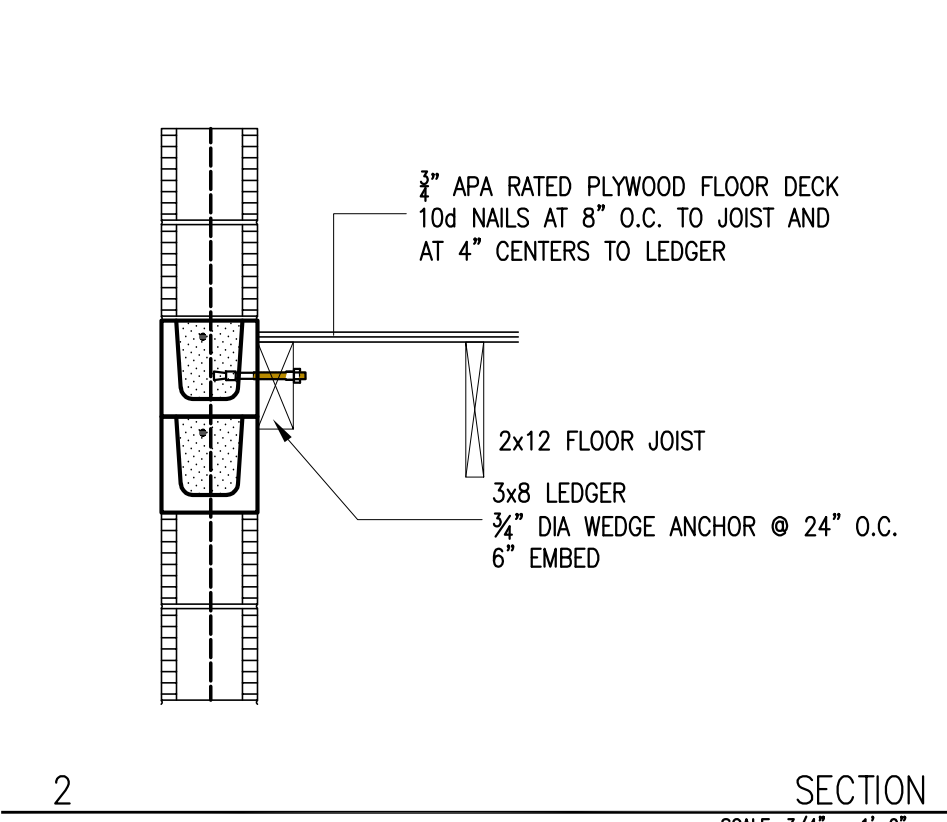
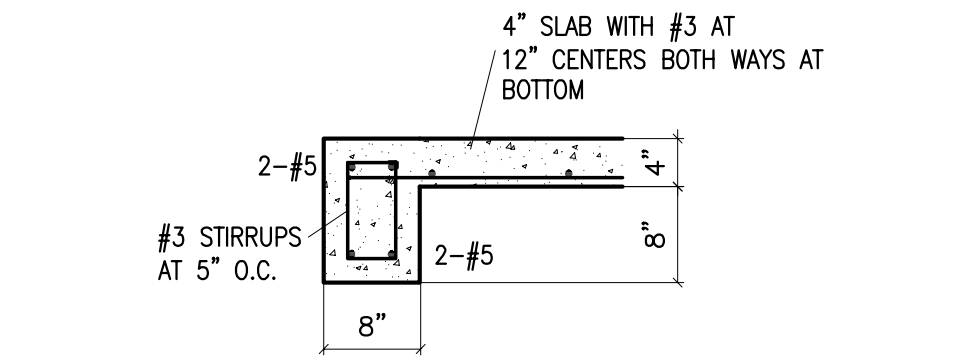
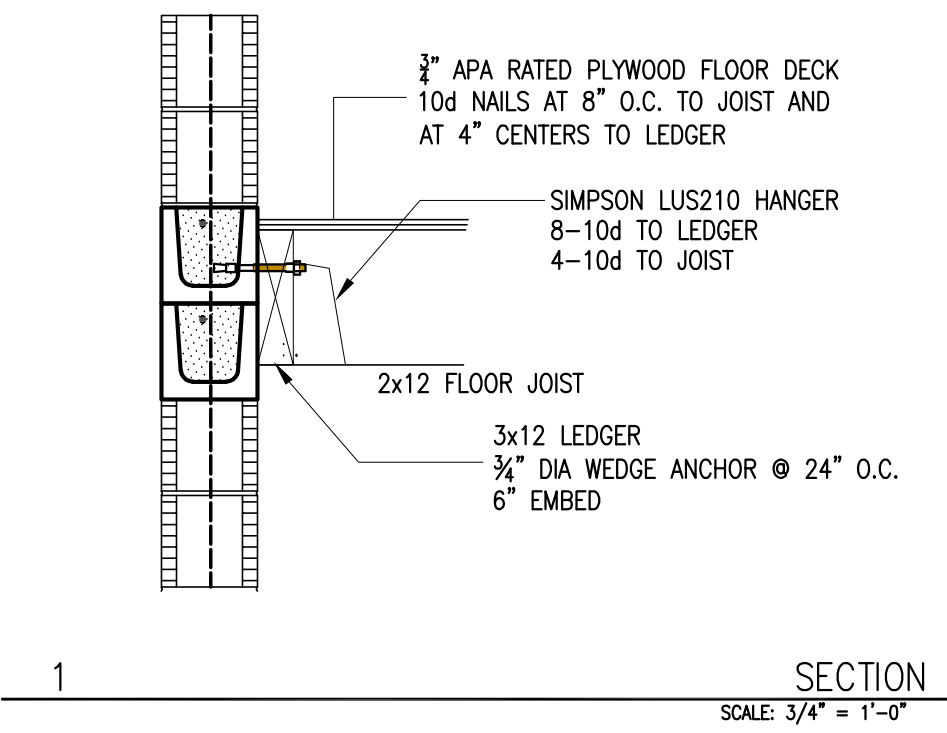
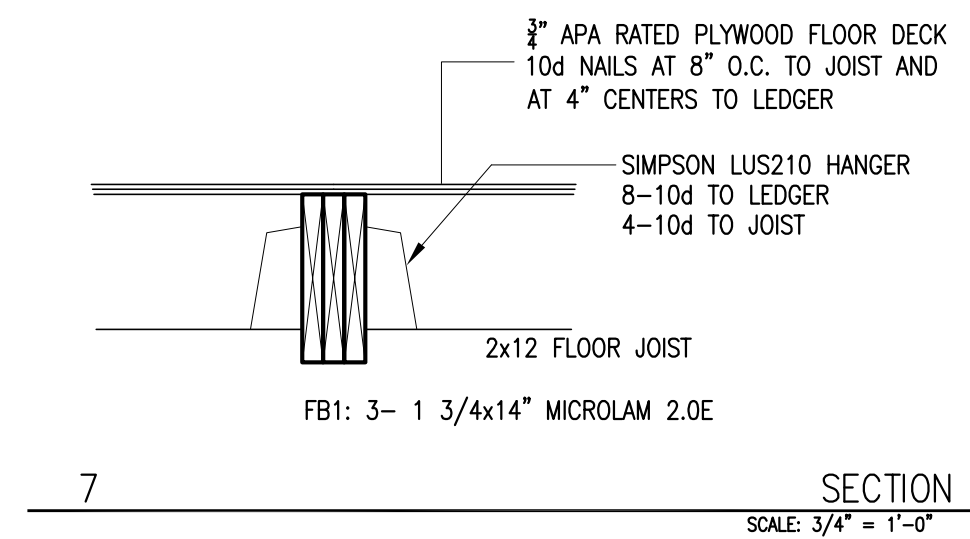
**SLAB/FOOTING PLAN**  
SCALE 1/4"=1'-0"



**ANDREW MORGAN SERVICES**  
STRUCTURAL ENGINEERING  
OIA No. 26093  
PH 561-881-8999 | amorgan@andmorganservices.com  
SUITE 109, 513 US HIGHWAY 1  
NORTH PALM BEACH, FLORIDA 33408

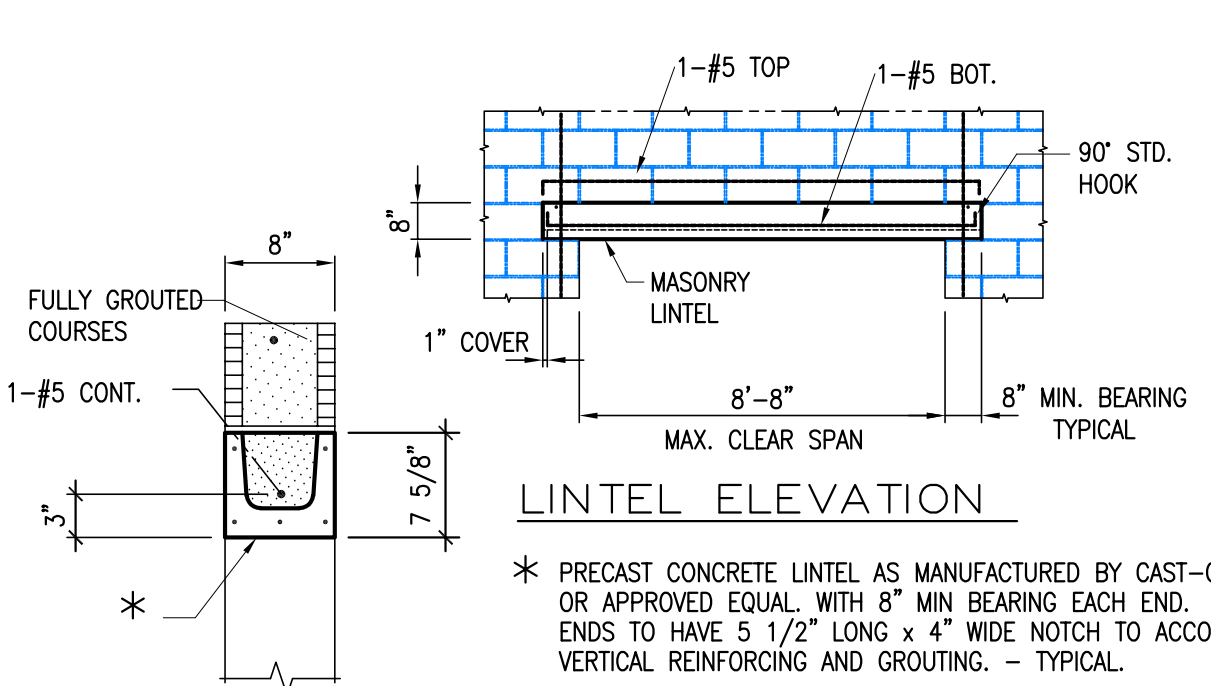
<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)</b>		
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>		
DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO. REVISIONS DATE
CHECKED BY:		
DCS PN#:	1713	
DATE:	06.08.18	
		PERMIT SET
<small>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&amp;Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED IN WHOLE OR IN PART IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&amp;Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&amp;Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</small>		S1
<small>ANDREW J. MORGAN PE No. 57171</small>		





BUCKS TO BE FASTENED HORIZONTALLY AND VERTICALLY TO CONCRETE BEAMS AND COLUMNS OR CONCRETE FILLED MASONRY. G.C. TO COORDINATE OPENING DIMENSIONS AND BUCK FASTENING DETAIL WITH PRODUCT APPROVALS.

**A. MINIMUM WINDOW/ DOOR BUCK FASTENERS TO CMU OR RC MEMBERS**



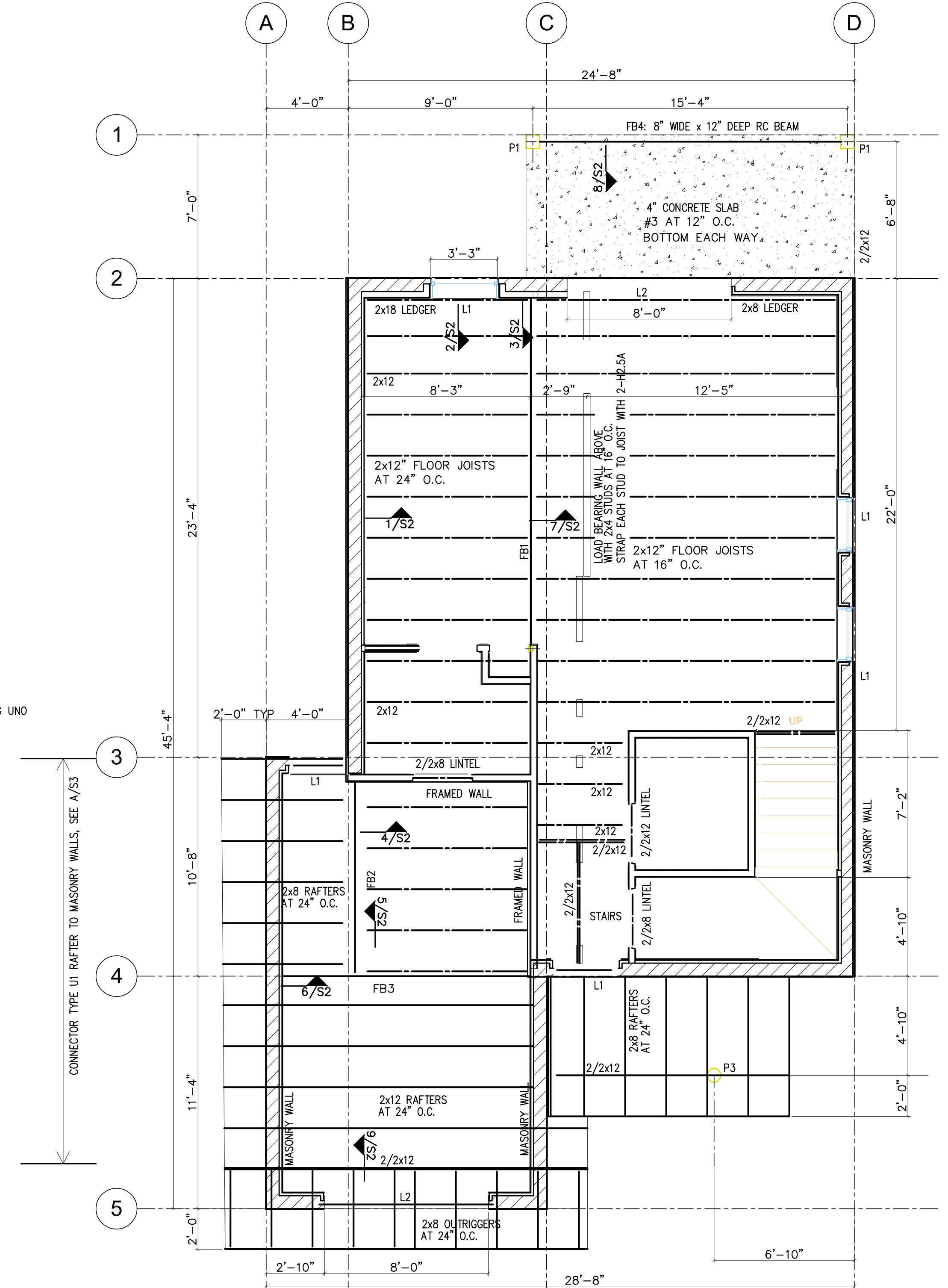
\* PRECAST CONCRETE LINTEL AS MANUFACTURED BY CAST-CRETE, OR APPROVED EQUAL WITH 8\"/>

**B. MASONRY LINTEL DETAILS**

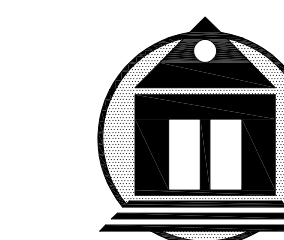
SCALE : N.T.S.

CAST CRETE LINTEL SCHEDULE NOA 14-0903.02						
	LENGTH OF OPENING	APPLIED GRAVITY LOAD	APPLIED UPLIFT LOAD	ALLOWABLE GRAVITY LOAD	ALLOWABLE UPLIFT LOAD	SPECS
L1	3'-6"	1285	300	3069	1569	8F8-1T
L2	9'-0"	1285	0	1843	1326	8F24-1B/1T

- ROOF PLAN NOTES:**
- STRUCTURAL LUMBER TO BE DETAILED, FABRICATED AND ERECTED PER AITC TIMBER CONSTRUCTION MANUAL AND NDS SPECIFICATION FOR WOOD CONSTRUCTION
  - LUMBER SHALL BE No 2 SOUTHERN PINE, KILN DRIED, WITH A MAX MOISTURE CONTENT OF 19% (DRY SERVICE CONDITION) OR EQUIVALENT.
  - PLYWOOD TO ROOF SHALL BE 19/32\"/>



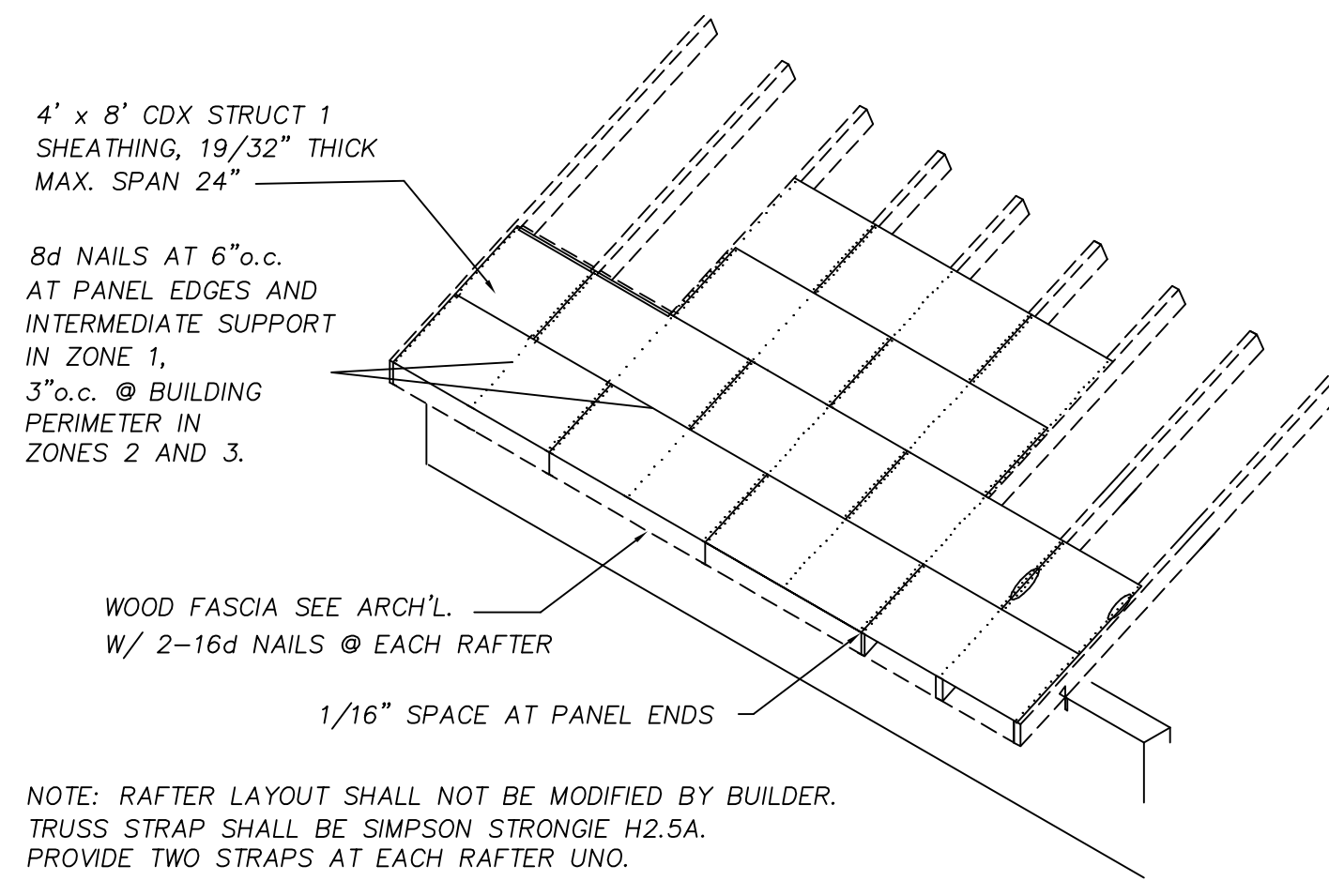
**FLOOR FRAMING PLAN**  
SCALE 1/4\"/>



**ANDREW MORGAN SERVICES**  
STRUCTURAL ENGINEERING  
COA No. 26093  
PH 561-881-8998 | amorganservices@gmail.com  
SUITE 109, 613 US HIGHWAY 1  
NORTH PALM BEACH, FLORIDA 33408

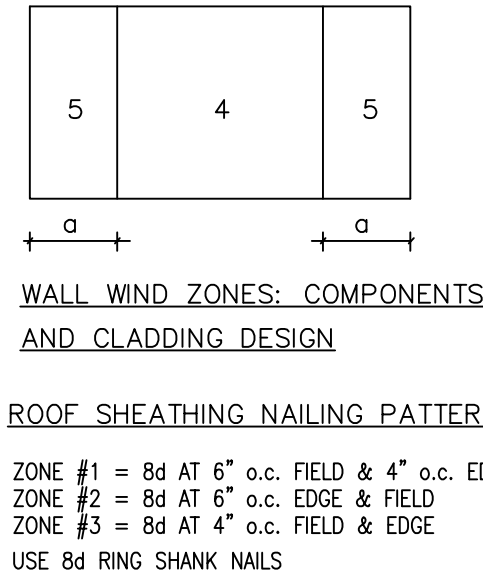
<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)</b>			
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS
CHECKED BY:		DATE	
DQS PNH:	1713		
DATE:	06.08.18		
		© 2018 by D & G Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&G STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&G STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&G STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE. 8485 S.W. 42ND STREET MIAMI, FLORIDA 33155   (305) 556-1100 P: 786.239.1522   F: 305.223.0574   WWW.D-G-S.COM	
ANDREW J. MORGAN PE No. 57171		<b>PERMIT SET</b>  <b>S2</b>	





**1 PLYWOOD NAILING DETAILS**  
NTS

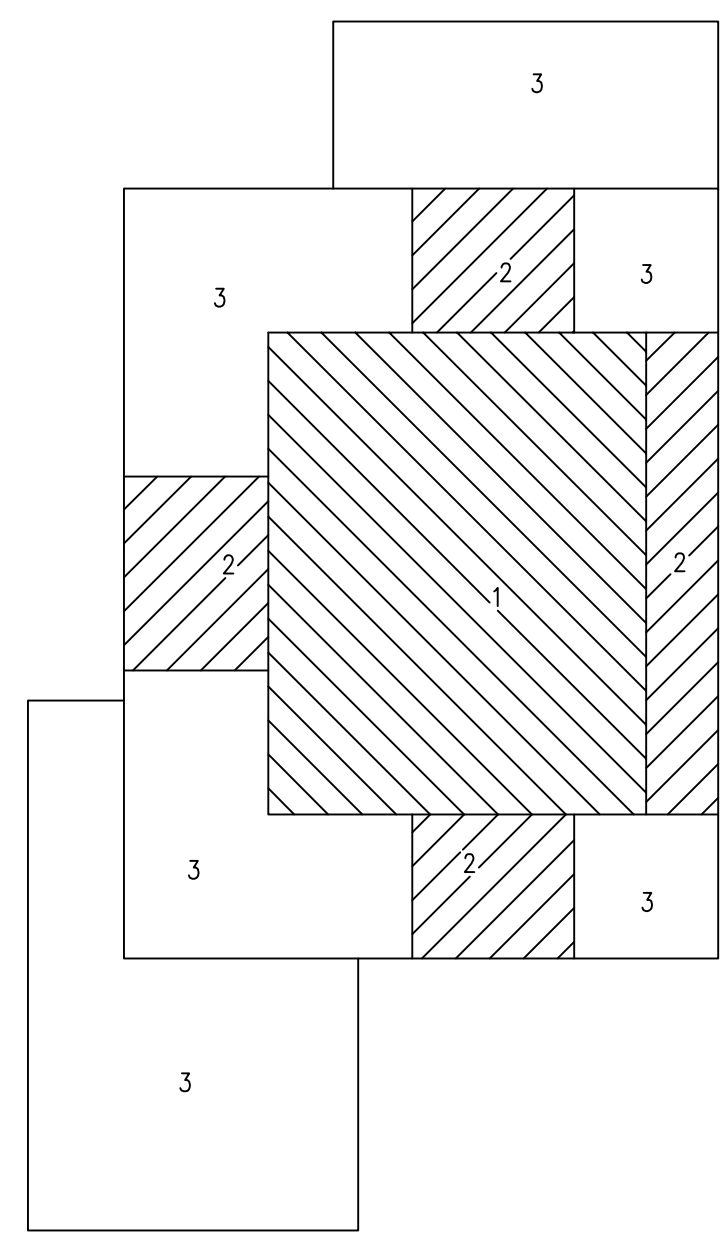
**DESIGN CRITERIA**  
DESIGN LOADING PER FBC 2014, WIND LOADS PER ASCE 7.10  
ROOF LIVE LOAD = 20 PSF  
ROOF DEAD LOAD = 20 PSF  
BASIC ULTIMATE WIND SPEED = 170 MPH (134 MPH ASD)  
RISK CATEGORY II BUILDING; ENCLOSED  
WIND EXPOSURE = EXPOSURE B  
Kd = 0.85  
INTERNAL PRESSURE COEFFICIENT = +/- 0.18  
ULT WIND PRESSURE (Lateral Force Restraint System) = 36 PSF  
ULT WIND PRESSURE (Component and Cladding) = 44 PSF  
WIND ZONE  $\alpha = 3'-0"$   
IMPACT RESISTANCE ASSEMBLY: YES  
TYPE OF CONSTRUCTION: CBS



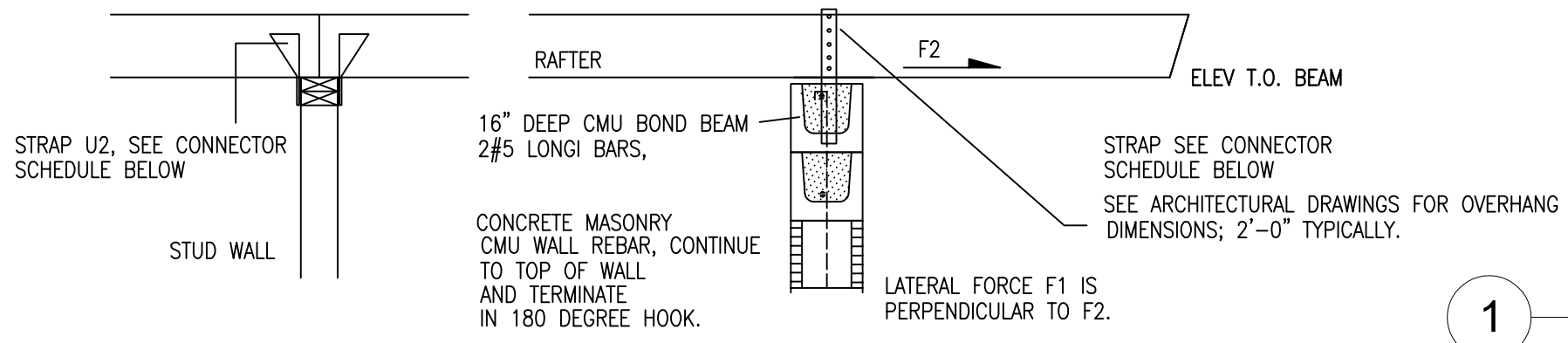
MEAN ROOF HEIGHT = 21 FT

COMPONENT AND CLADDING WIND PRESSURES		ROOF SLOPE < 7 DEG.	
AREA	ZONE	TRIBUTARY AREA (SQ. FT.)	
MAIN ROOF	1,2&3	PRESSURE psf	30
	1	SUCTION psf	-48
	2	SUCTION psf	-83
	3	SUCTION psf	-122
OVERHANG	2	SUCTION psf	-105
	3	SUCTION psf	-171
WALL	4&5	PRESSURE psf	52
	4	SUCTION psf	-52
	5	SUCTION psf	-63

TABLE 1: ULTIMATE COMPONENT AND CLADDING PRESSURES



ROOF WIND ZONES: COMPONENTS AND CLADDING DESIGN

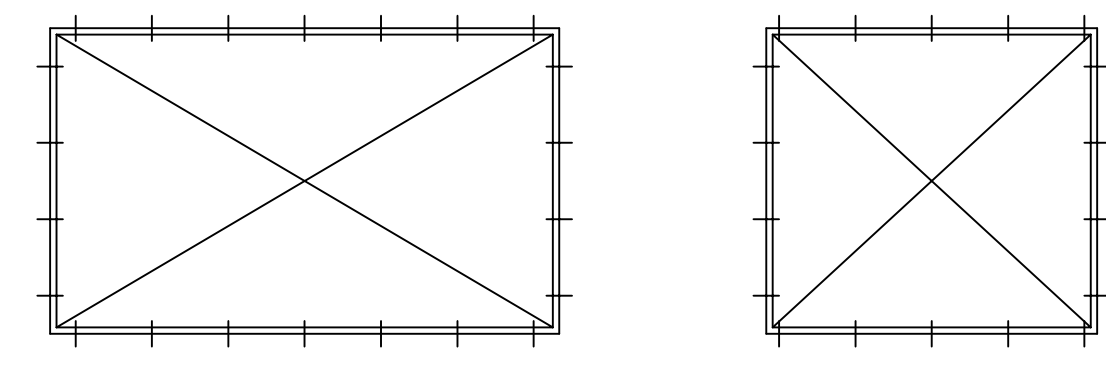


**CONNECTOR SCHEDULE**

CONNECTOR**	UPLIFT LBS	F1 LBS	F2 LBS	QUANTITY AT REACTION	ANCHORING DETAILS	
PLAN MARK	SIMPSON MARK	LATERAL			TO RAFTER	TO R.C TIE BEAM/STUD WALL
U1	META16	1450	340	795	1	8-10d x 1/2
U2	H2.5A	600	110	110	1	5-8d
U3	HU210-2	1135	-	-	1	6-10d

\*\* CONNECTORS ARE BY SIMPSON-STRONGTIE  
ALL CONNECTORS ARE TO BE OF HOT-DIPPED GALVANIZED STEEL AND SHALL BE TYPE U1 UNO. DO NOT CHANGE THE RAFTER LAYOUT.

**A RAFTER & ROOF BEAM CONNECTOR DETAILS**  
NTS

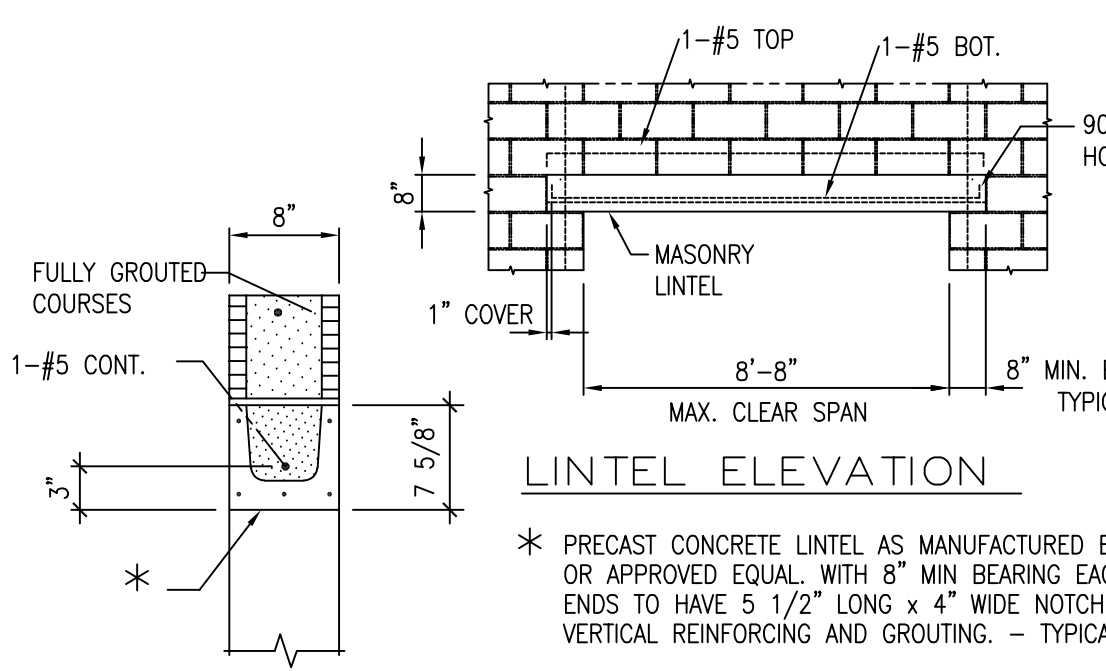


(WINDOW & DOOR OPENINGS 7'-0" WIDE AND LARGER)  
1" X P.T. BUCK W/ 1/4" X 1 1/2" CONC. EMBEDMENT TAPCON OR HARD CASED NAILS AT 8" O.C., START 3" FROM CORNERS

(WINDOW & DOOR OPENINGS 6'-6" WIDE AND SMALLER)  
1" X P.T. BUCK W/ 1/4" X 1 1/2" CONC. EMBEDMENT TAPCON OR HARD CASED NAILS AT 12" O.C., START 3" FROM CORNERS

BUCKS TO BE FASTENED HORIZONTALLY AND VERTICALLY TO CONCRETE BEAMS AND COLUMNS OR CONCRETE FILLED MASONRY. G.C. TO COORDINATE OPENING DIMENSIONS AND BUCK FASTENING DETAIL WITH PRODUCT APPROVALS.

**B MINIMUM WINDOW/ DOOR BUCK FASTENERS TO CMU OR RC MEMBERS**  
NTS



**LINTEL ELEVATION**

\* PRECAST CONCRETE LINTEL AS MANUFACTURED BY CAST-CRETE, OR APPROVED EQUAL, WITH 8" MIN BEARING EACH END. ENDS TO HAVE 5 1/2" LONG X 4" WIDE NOTCH TO ACCOMMODATE VERTICAL REINFORCING AND GROUTING. - TYPICAL.

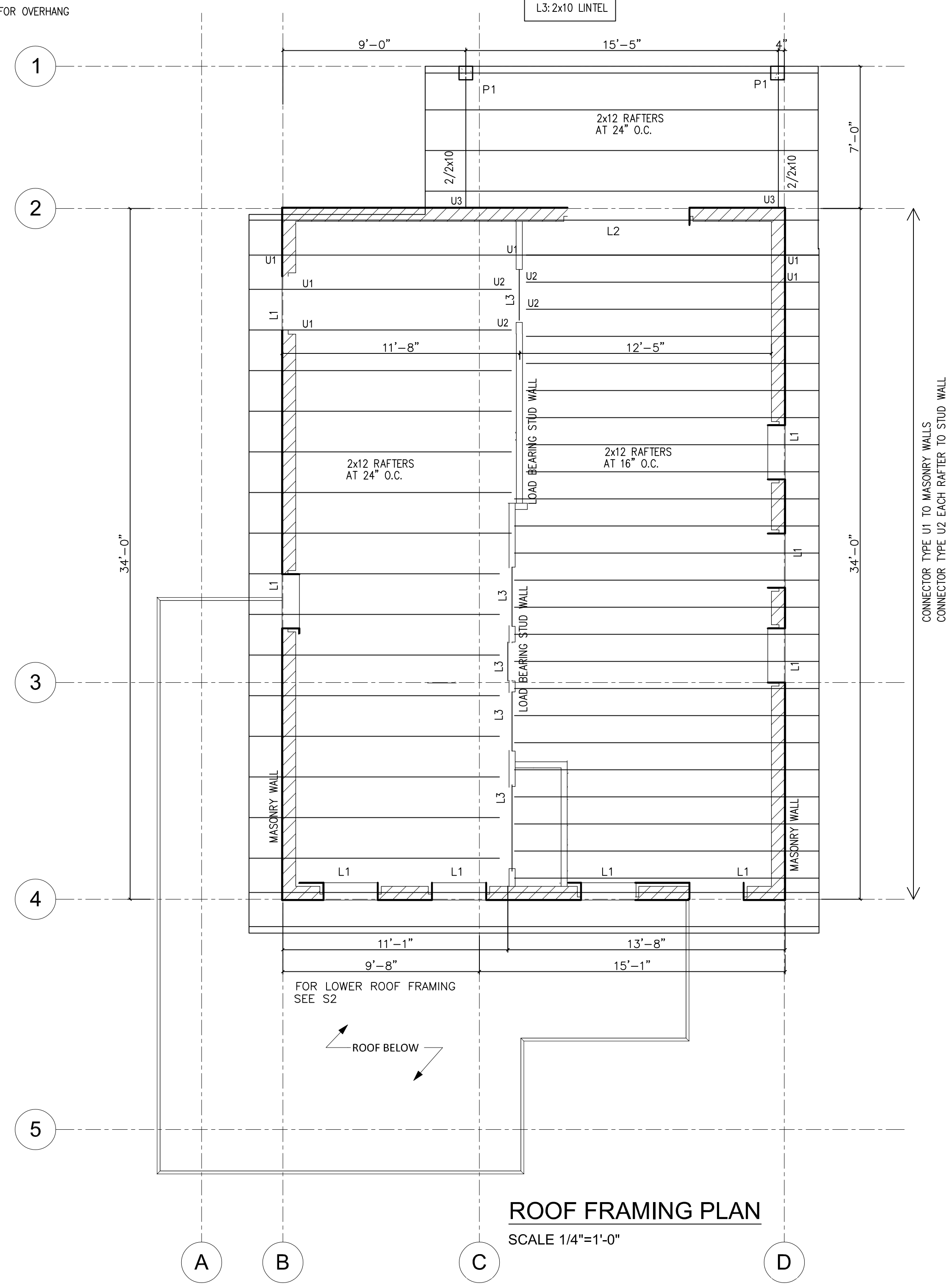
**C. MASONRY LINTEL DETAILS**

SCALE: N.T.S.

CAST CRETE LINTEL SCHEDULE NOA 14-0903.02

	LENGTH OF OPENING	APPLIED GRAVITY LOAD	APPLIED UPLIFT LOAD	ALLOWABLE GRAVITY LOAD	ALLOWABLE UPLIFT LOAD	SPECS
L1	3'-6"	1285	300	3069	1569	8F8-1T
L2	9'-0"	1285	0	1843	1326	8F16-1B/1T

5. ROOF SLOPE 1/4" IN 12". SEE ARCHITECTURAL SECTIONS.
- ROOF PLAN NOTES:**
- STRUCTURAL LUMBER TO BE DETAILED, FABRICATED AND ERECTED PER AITC TIMBER CONSTRUCTION MANUAL AND NDS SPECIFICATION FOR WOOD CONSTRUCTION
  - LUMBER SHALL BE No 2 SOUTHERN PINE, KILN DRIED, WITH A MAX MOISTURE CONTENT OF 19% (DRY SERVICE CONDITION) OR EQUIVALENT.
  - PLYWOOD TO ROOF TO BE 19/32" THICK MIN.
  - WALLS BELOW ROOF SHOWN.



**ROOF FRAMING PLAN**  
SCALE 1/4"=1'-0"

**RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)**  
**PROTOTYPE SINGLE FAMILY HOME 2 STORY**

DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS	DATE
CHECKED BY:				
DQS PN#:	1713			
DATE:	06.08.18			

© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED IN WHOLE OR IN PART IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.

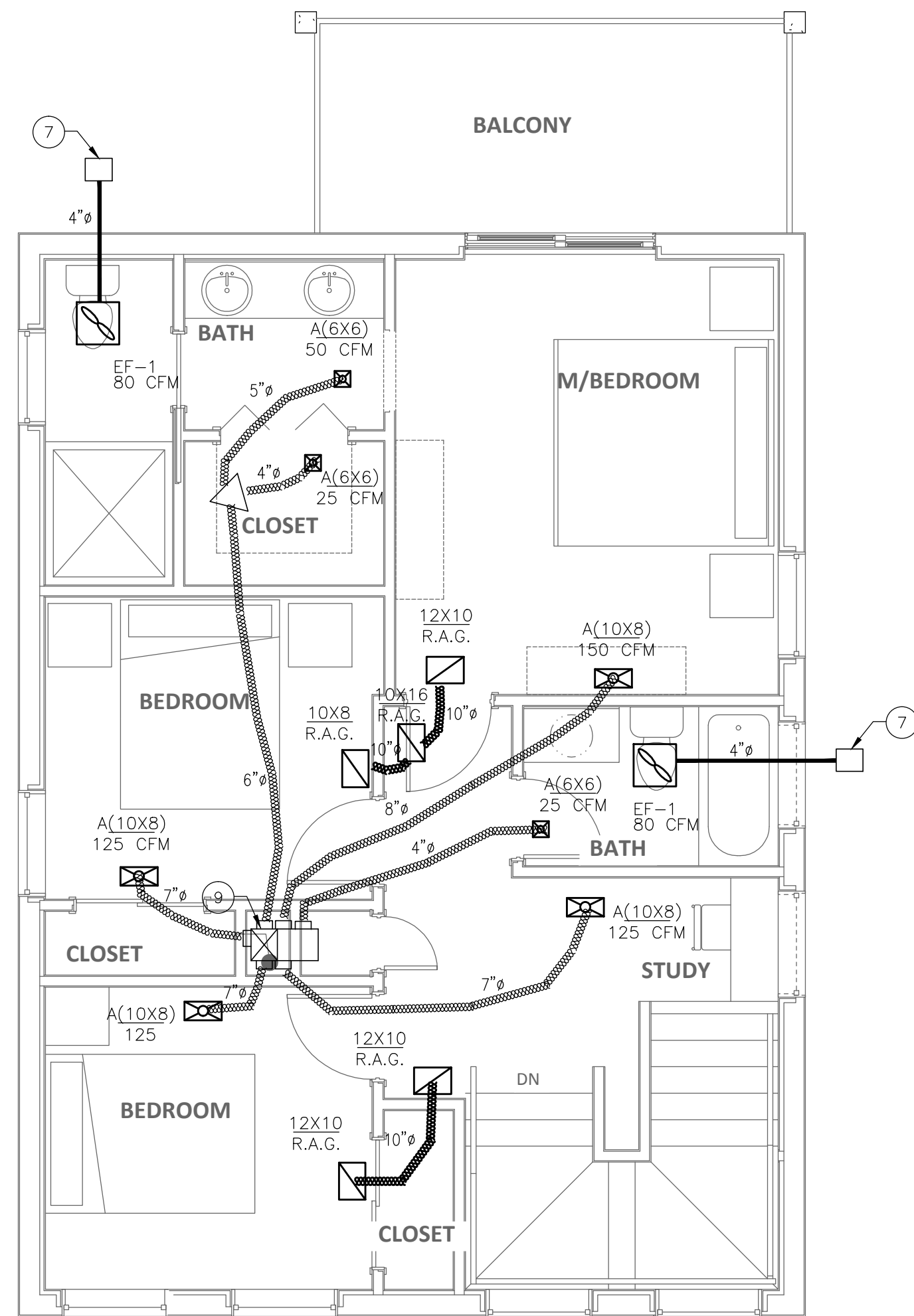
8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 | AA 26003190  
P: 786.239.1322 | F: 305.223.0574 | WWW.D-Q-S.COM

ANDREW J. MORGAN  
PE No. 57171

PERMIT SET  
**S3**

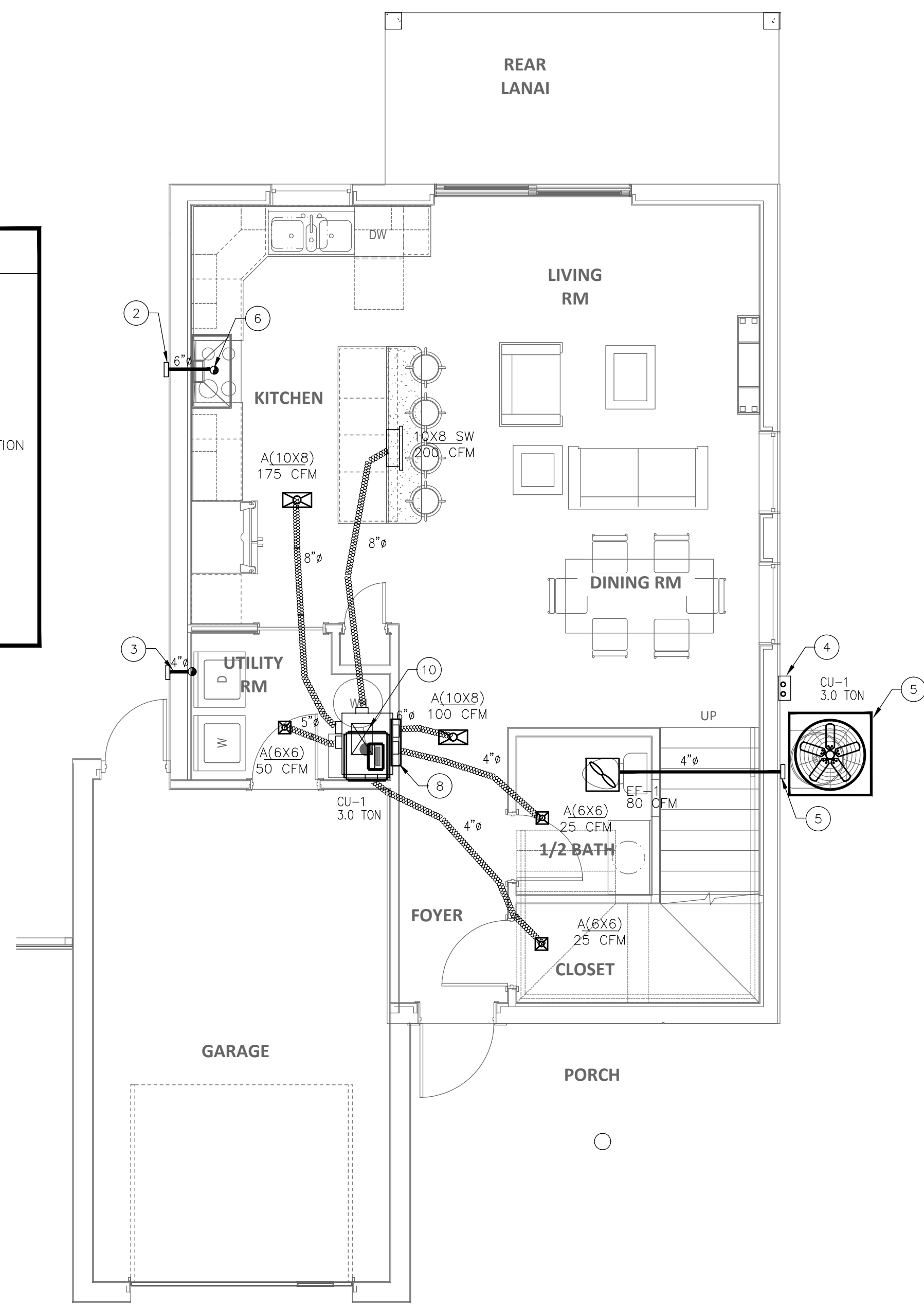
**ANDREW MORGAN SERVICES**  
STRUCTURAL ENGINEERING  
PH 561-881-8999 amorganservices@gmail.com  
SUITE 109, 513 US HIGHWAY 1  
NORTH PALM BEACH, FLORIDA 33408





**MECHANICAL 2ND FLOOR PLAN**  
 scale: 1/4" = 1'-0"  NORTH

- DRAWING KEYNOTES**
- ① 4" BATHROOM EXHAUST THRU WALL WITH INSECT SCREEN AND WALL CAP.
  - ② 6" KITCHEN HOOD EXHAUST THRU WALL WITH INSECT SCREEN AND WALL CAP.
  - ③ 4" DRYER EXHAUST THRU WALL WITH BACK DAMPER AND WALL CAP. MINIMUM 26 GAUGE SHEET METAL. DRYER EXHAUST LESS THAN 200 CFM.
  - ④ REFRIGERANT LINES ALONG WALL WITH LINE COVER.
  - ⑤ CONDENSER UNIT SLAB MUST BE THE SAME ELEVATION AS FINISH FLOOR, 12" ABOVE FLOOD ELEVATION PER FMC-SECTION 301.16-2017 AND FBC 1612.4.2016.
  - ⑥ KITCHEN HOOD EXHAUST SHALL BE LESS THAN 800 CFM PER FBC 2017 5TH ED. SECTION M1503.4 EXCEPTION (B). THERE SHALL BE NO GRAVITY VENT APPLIANCES WITHIN THE CONDITIONED LIVING SPACE OF THE STRUCTURE.
  - ⑦ 4" BATHROOM EXHAUST THRU WALL EAVE WITH INSECT SCREEN AND 6X6 GRILL..
  - ⑧ PROVIDE 30"x30" RETURN GRILL AND DUCT TO AC UNIT.
  - ⑨ 12X10 SUPPLY DUCT DOWN.
  - ⑩ 12X10 SUPPLY DUCT UP.



**MECHANICAL 1ST FLOOR PLAN**  
 scale: 1/4" = 1'-0"  NORTH

**bd** bach design engineers  
 381 SE 10th Street, Pompano Beach, FL 33060  
 TEL: (954) 461-4314 Fax: (954) 782-2036  
 info@bachengineers.com  
 CA# 28826  
 Viet Bach Nguyen, P.E.  
 Florida License #69753 Date: \_\_\_\_\_

RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)				
PROTOTYPE SINGLE FAMILY HOME 2 STORY				
DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS	
CHECKED BY:		DATE		
DQS PN#:				
DATE:				
<p>© 2018 by D &amp; Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&amp;Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&amp;Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&amp;Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.</p>		<p>PERMIT SET</p>		
<p><b>DQ</b> STUDIO ARCHITECTS</p> <p>8245 S.W. 42ND STREET MIAMI, FLORIDA 33155   AA 28003190  P. 786.239.1322   F. 305.223.0574   WWW.D-Q-S.COM</p>		<p><b>MECHANICAL FLOOR PLAN</b></p> <p style="font-size: 2em;"><b>M-1</b></p>		



### HVAC GENERAL NOTES

- GENERAL
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (MECHANICAL, 2017 6TH ED.) AND WITH ALL APPLICABLE REGULATIONS.
  - DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE HVAC WORK.
  - ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
  - GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR. ALL COMPRESSORS SHALL BE GUARANTEED FOR 5 YEARS MINIMUM.
- DESIGN PARAMETERS:
  - INDOOR DESIGN TEMPERATURE (SUMMER): 78° DB
  - INDOOR DESIGN TEMPERATURE (WINTER): 72° DB
- ALL THERMOSTATS SHALL HAVE HEATING MODE MAXIMUM SETTING OF 75 F, AND COOLING MODE MINIMUM SETTING OF 70 F. THE THERMOSTAT SHALL BE ARRANGED TO PREVENT THE SIMULTANEOUS OPERATION OF HEATING AND COOLING.
- ELECTRICAL CONTROLS AND POWER WIRING: UNDER ELECTRICAL CONTRACT.
- EQUIPMENT SPECIFIED BY MANUFACTURER'S NUMBER SHALL INCLUDE ALL ACCESSORIES, CONTROLS, ETC., LISTED IN THE CATALOG AS STANDARD WITH THE EQUIPMENT. OPTIONAL OR ADDITIONAL ACCESSORIES SHALL BE FURNISHED AS SPECIFIED.
- MATERIALS:
  - REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
  - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.
  - DUCTWORK:
    - ALL SUPPLY AIR DUCTWORK SHALL BE 1" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL", R-4.2 MIN.
    - ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.
    - ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
    - FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R-6.0 MIN.
- CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.

- CEILING SUPPLY DIFFUSER
- CEILING RETURN DIFFUSER
- WALL SUPPLY GRILL
- PROGRAMMABLE T-STAT.
- NEW FLEXIBLE DUCT, U.L. CLASS 1 (R-6)

### SPLIT SYSTEM SCHEDULE

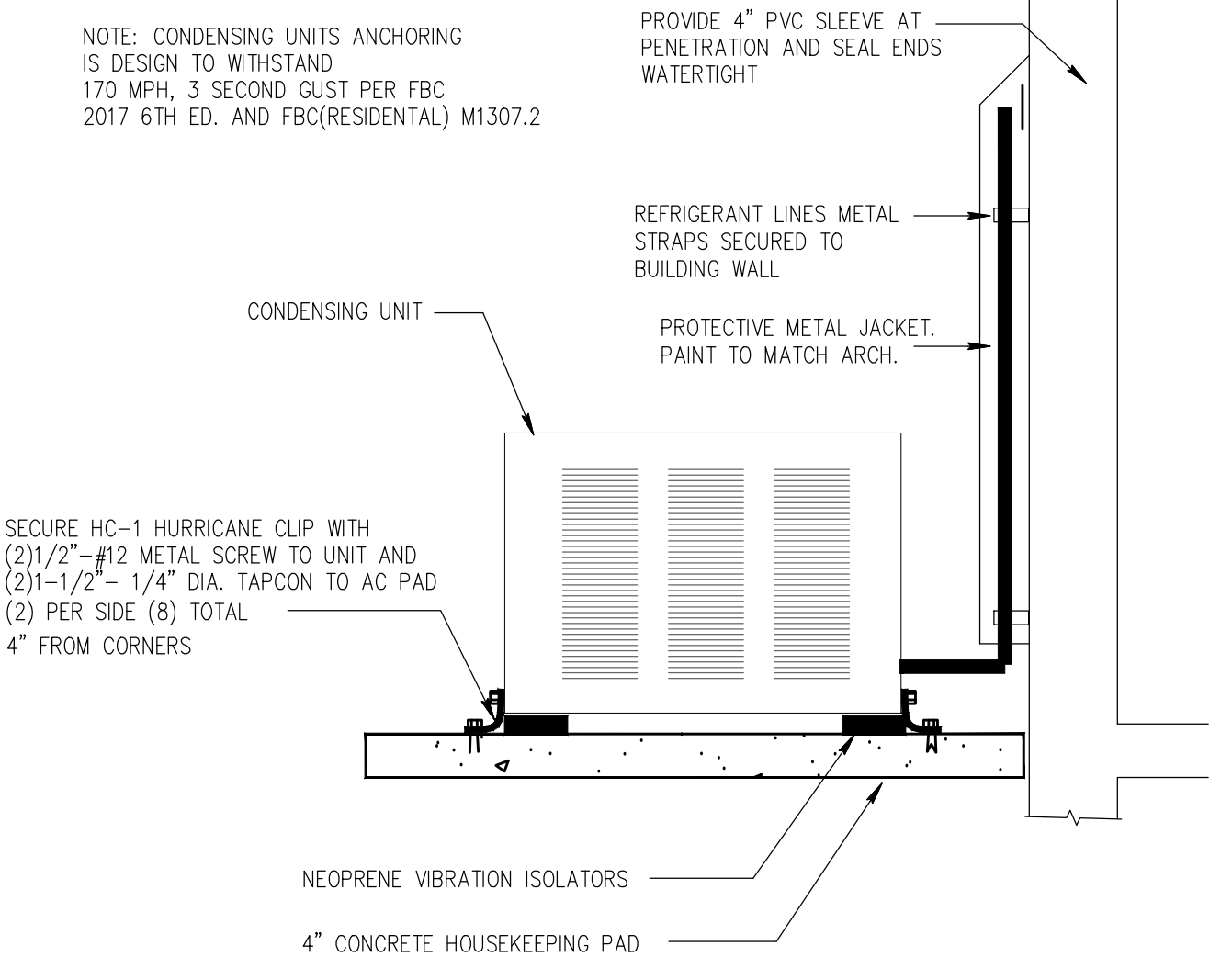
AIR HANDLING UNIT										AIR COOLED CONDENSING UNIT						SYSTEM DATA								
MODEL NO.	CFM	ESP	FAN HP	HEATER KW	STEP	UNIT MCA	MAX MOCP	WT LBS	MARK	MODEL NO.	WT LBS	ELECTRICAL VOLTS-PH-HZ	COMPRESSOR QTY.	TONS	RLA	FAN QTY	FLA	UNIT MCA	MAX MOCP	CAPACITY TMBH	SMBH	SEER	REF. LINES SUCTION	LIQUID
TRANE TEM6A0C36	1200	0.4	1/2	9.6	1	55	60	150	CU-1	TRANE 4TR6A0C36	195	240-1-60	1	3.0	14.1	1	0.93	19	30	35.0	27.0	16.5	3/4	3/8

#### SPLIT SYSTEM NOTES:

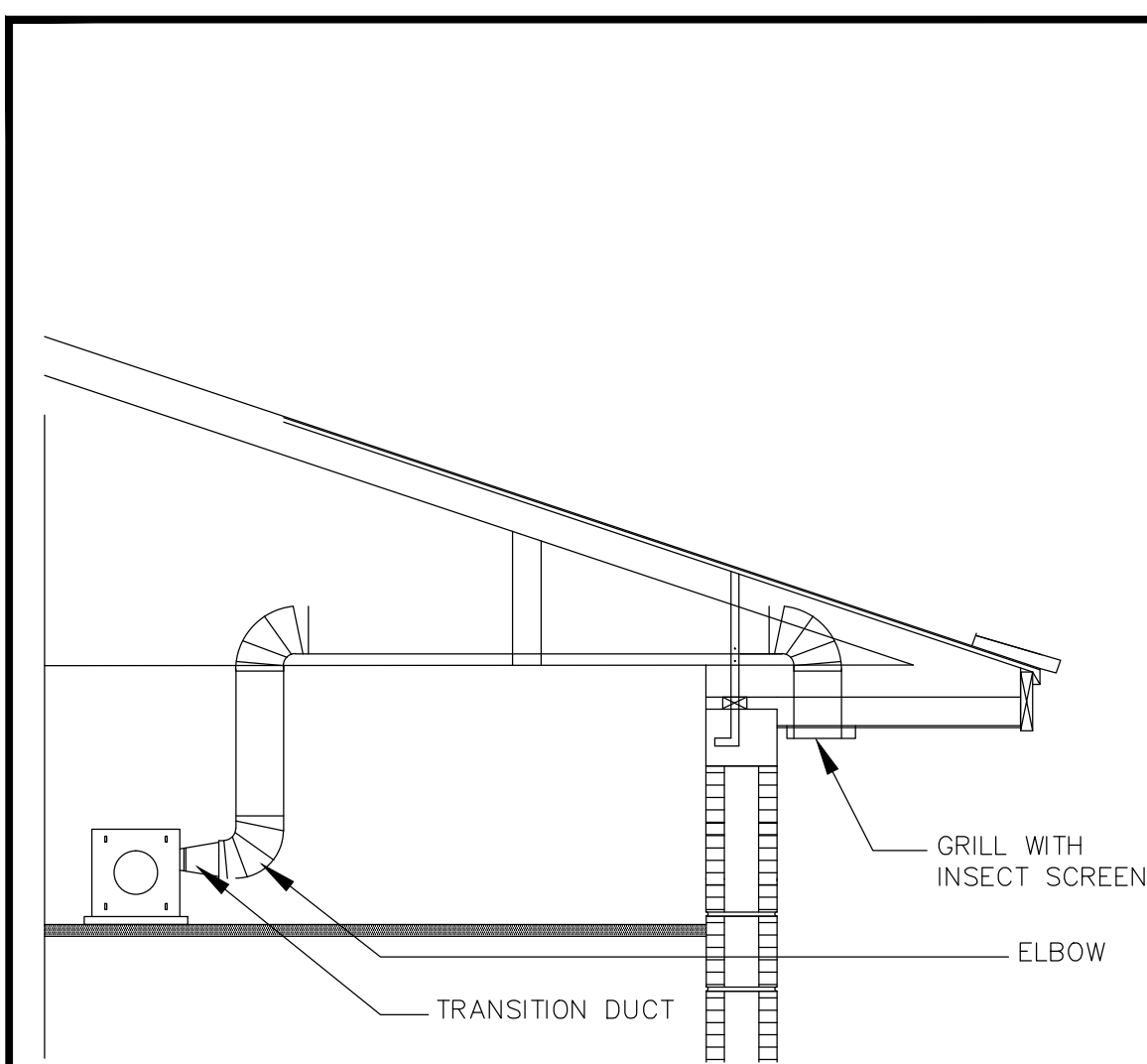
- OUTSIDE AIR DESIGN CONDITIONS: 91°FDB - 79°FDB.  
PROVIDE A/C UNITS WITH PROGRAMMABLE HEATING AND COOLING THERMOSTAT WITH ON-OFF SWITCH SUB-BASE. (WIRED AND INSTALLED BY ELECTRICAL CONTRACTOR)  
PROVIDE PROPER VIBRATION ISOLATORS AS PER ISOLATION MANUFACTURER'S RECOMMENDATIONS. PROVIDE FILTER RACK UNDER
- INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.
- DUCTWORK:
  - ALL SUPPLY AIR DUCTWORK SHALL BE 1" THICK FIBERGLASS DUCTBOARD, FABRICATED AND INSTALLED AS PER LATEST EDITION OF SMACNA "FIBROUS GLASS DUCT MANUAL", R-4.2 MIN.
  - ALL OUTDOOR AND EXHAUST AIR DUCTWORK SHALL BE GALVANIZED SHEET METAL OR ALUMINUM DUCT NOT LIGHTER THAN 24 GAGE.
  - ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
  - FLEXIBLE INSULATED DUCTWORK WITH 1-1/2" THICK FIBERGLASS INSULATION WITH FRK VAPOR BARRIER. R-6.0 MIN.
- CONTROLS: AIR CONDITIONING UNITS SHALL BE STARTED AND STOPPED THRU INDIVIDUAL PROGRAMMABLE THERMOSTAT. INDIVIDUAL THERMOSTATS SHALL START/STOP FANS AND ACTIVATE COOLING/HEATING SYSTEMS AS SELECTED.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION. CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.

- MATERIALS:
  - REFRIGERANT PIPING: SHALL BE TYPE L SOFT DRAWN, COPPER TUBING, DEHYDRATED FOR REFRIGERANT USE. SIZED AS SHOWN ON DRAWINGS OR AS PER AIR CONDITIONING EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
  - INSULATION: REFRIGERANT SUCTION PIPING AND CONDENSATE PIPES SHALL BE INSULATED WITH 3/4" THICK FOAMED PLASTIC INSULATION, FIRE RETARDANT TYPE. INSULATION SHALL BE INSTALLED IN PIPING BEFORE ASSEMBLY. NO SPLIT INSULATION WILL BE ACCEPTABLE. SEAL JOINTS WITH MANUFACTURER'S APPROVED ADHESIVE AND GREY TAPE.

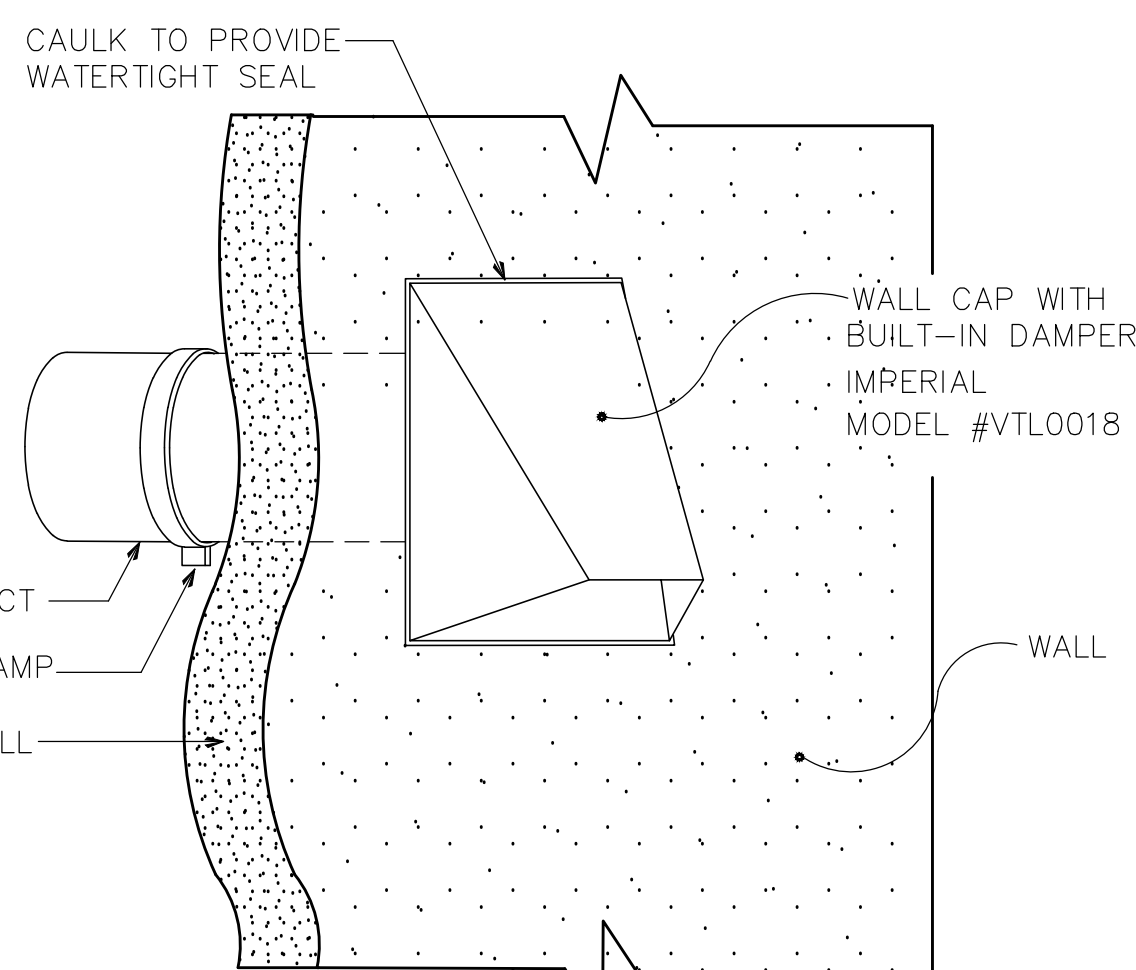
NOTE: CONDENSING UNITS ANCHORING IS DESIGN TO WITHSTAND 170 MPH, 3 SECOND GUST PER FBC 2017 6TH ED. AND FBC(RESIDENTIAL) M1307.2



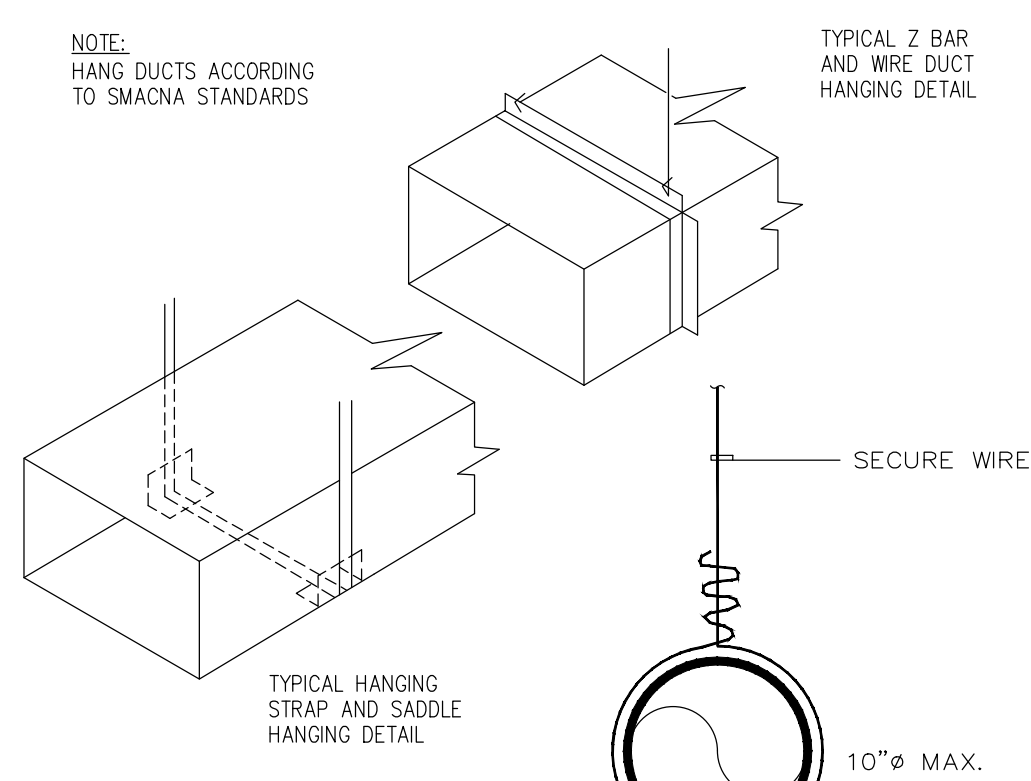
**CONDENSING UNIT MOUNTING DETAIL**  
N.T.S.



**EAVE CAP DETAIL**

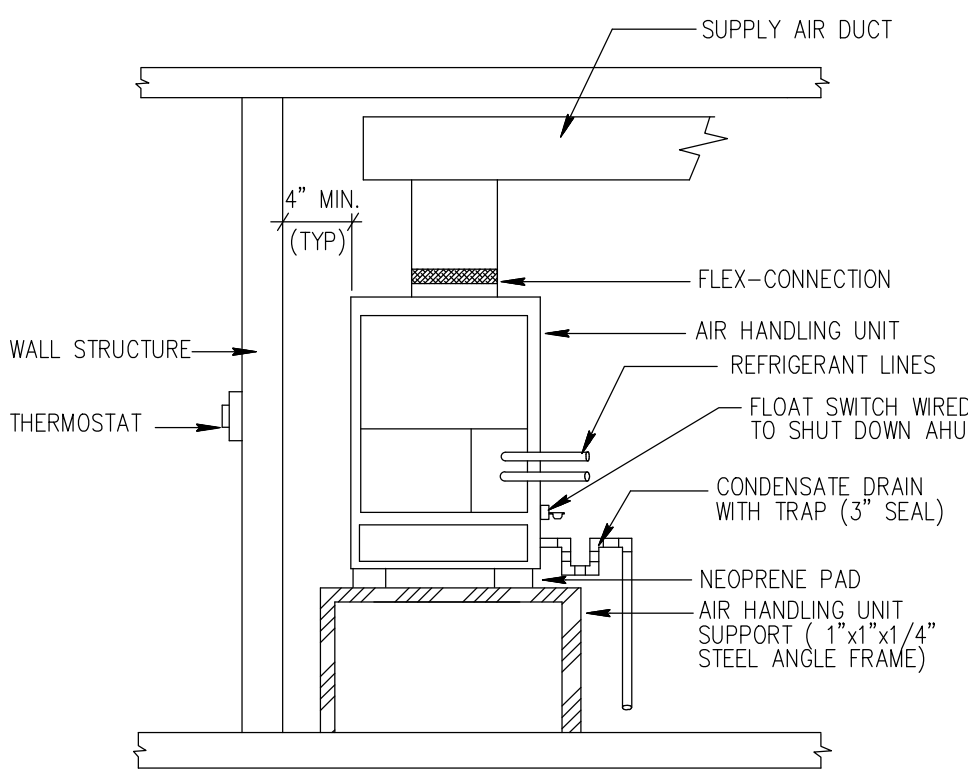


**WALL CAP DETAIL**  
NOT TO SCALE



FLEXIBLE DUCT SHALL BE SUPPORT PER FBC M1601.4.4.4  
 1. HORIZONTAL DUCT SHALL BE SUPPORT AT INTERVALS NOT GREATER THAN 5 FEET  
 2. DUCT SAG BETWEEN SUPPORT SHALL NOT BE EXCEED 1/2" PER FOOT OF LENGTH  
 3. DUCT STRIP SHALL BE DIVERSITECH DUCT 1-3/4" POLYPROPYLENE HANGER STRAP OR EQUAL.

**METHODS OF HANGING DUCTS DETAIL**  
N.T.S.



**TYPICAL VERTICAL AIR UNIT DETAIL**  
N.T.S.

- NOTE:
- PROVIDE MINIMUM 4" SERVICE/ MAINTENANCE AREA AROUND AIR HANDLING UNIT.
  - PROVIDE FLOAT SWITCH IN DRAINPAN WIRED TO SHUT DOWN AC UNIT IN CASE OF CONDENSATE STOPPAGE.

### AIR DISTRIBUTION SCHEDULE

TAG	DIFFUSER TYPE	MANUFACTURER & MODEL NO.	NOTES:
A	4-WAY ADJUSTABLE OPPOSED BLADE DAMPER ALUMINUM DIFFUSER	TITUS 250-AA	
B	ALUMINUM RETURN GRILL	TITUS 300/350	

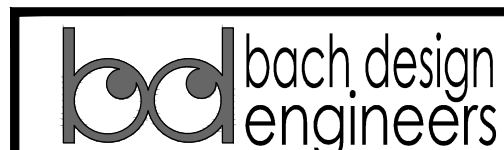
NOTES:  
1. ALL GRILLS MUST BE APPROVED BY OWNER/ARCHITECT.

### FAN SCHEDULE

MARK	SELECTION BASED ON			CFM	MOTOR DATA			DRIVE	SONES	UNIT
	MAKE	MODEL NO.	SERVICE		WATTS	AMP	VOLTS-PH-HZ			
EF-1	PANASONIC	FV-08V3	BATHROOM	80	7	-	120	DRIVE	0.3	12.1

#### GENERAL FAN NOTES:

- PROVIDE MOTOR STARTERS, DISCONNECTS AND ALL ASSOCIATED CONTROLS ON ALL FANS.
- PROVIDE BACKDRAFT FOR ALL EXHAUST FANS.
- FIELD ADJUST OPENINGS WITH STRUCTURE.
- PROVIDE BROSSCREEN ON ALL INLETS AND OUTLETS.
- SWITCH WITH LIGHTS



381 SE 10th Street, Pompano Beach, FL 33060  
 TEL: (954) 461-4314 Fax: (954) 782-2036  
 Info@bachdesignengineers.com  
 CA# 28826  
 Viet Bach Nguyen, P.E.  
 Florida License #69753

Date: \_\_\_\_\_

### RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC) PROTOTYPE SINGLE FAMILY HOME 2 STORY

DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS	DATE
CHECKED BY:				
DQS PN#:				
DATE:				



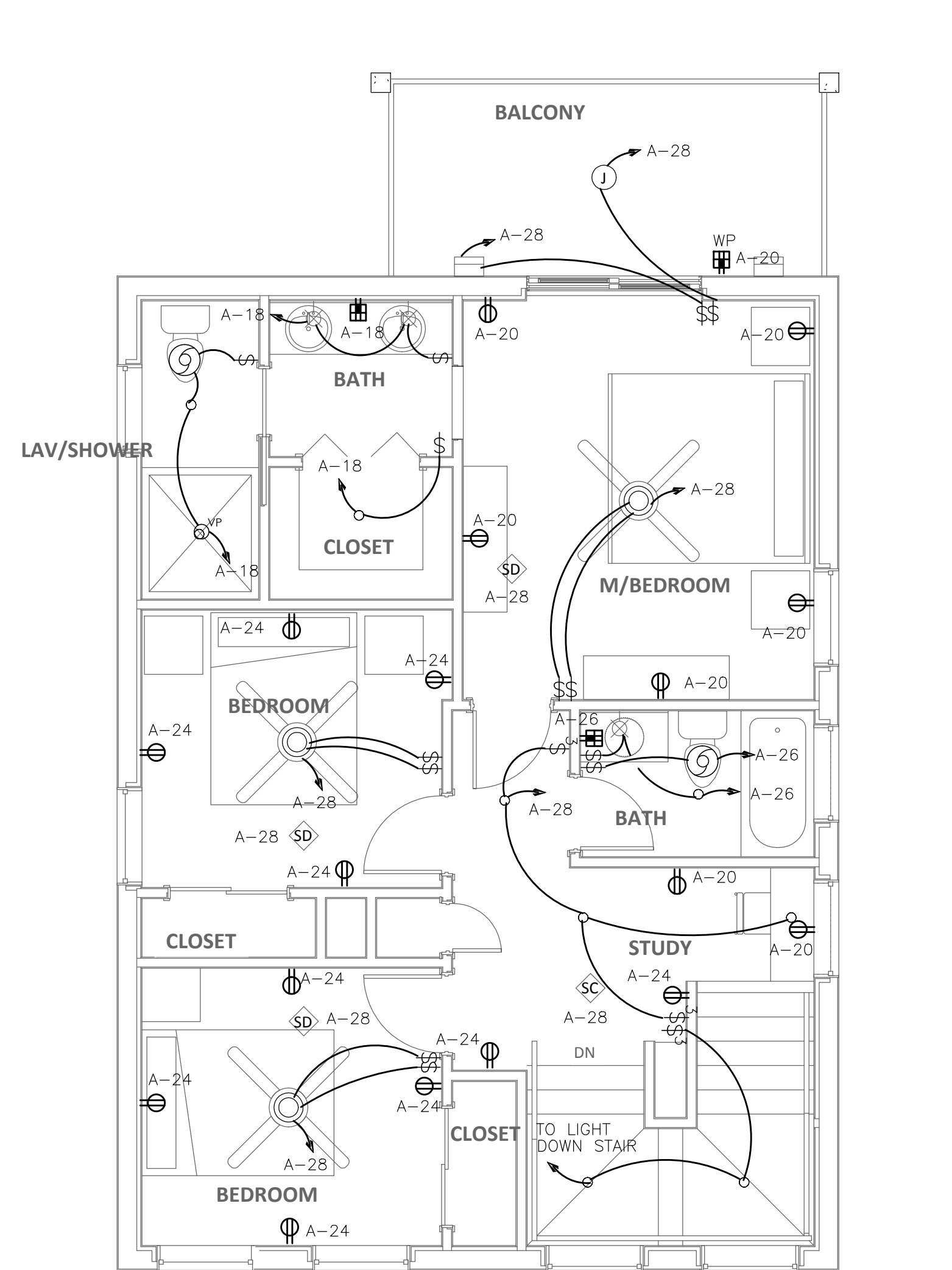
© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.  
 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 | AA 2803180  
 P: 786.239.1322 | F: 305.223.0574 | WWW.D-Q-S.COM

**MECHANICAL NOTES, DETAIL AND SCHEDULES**

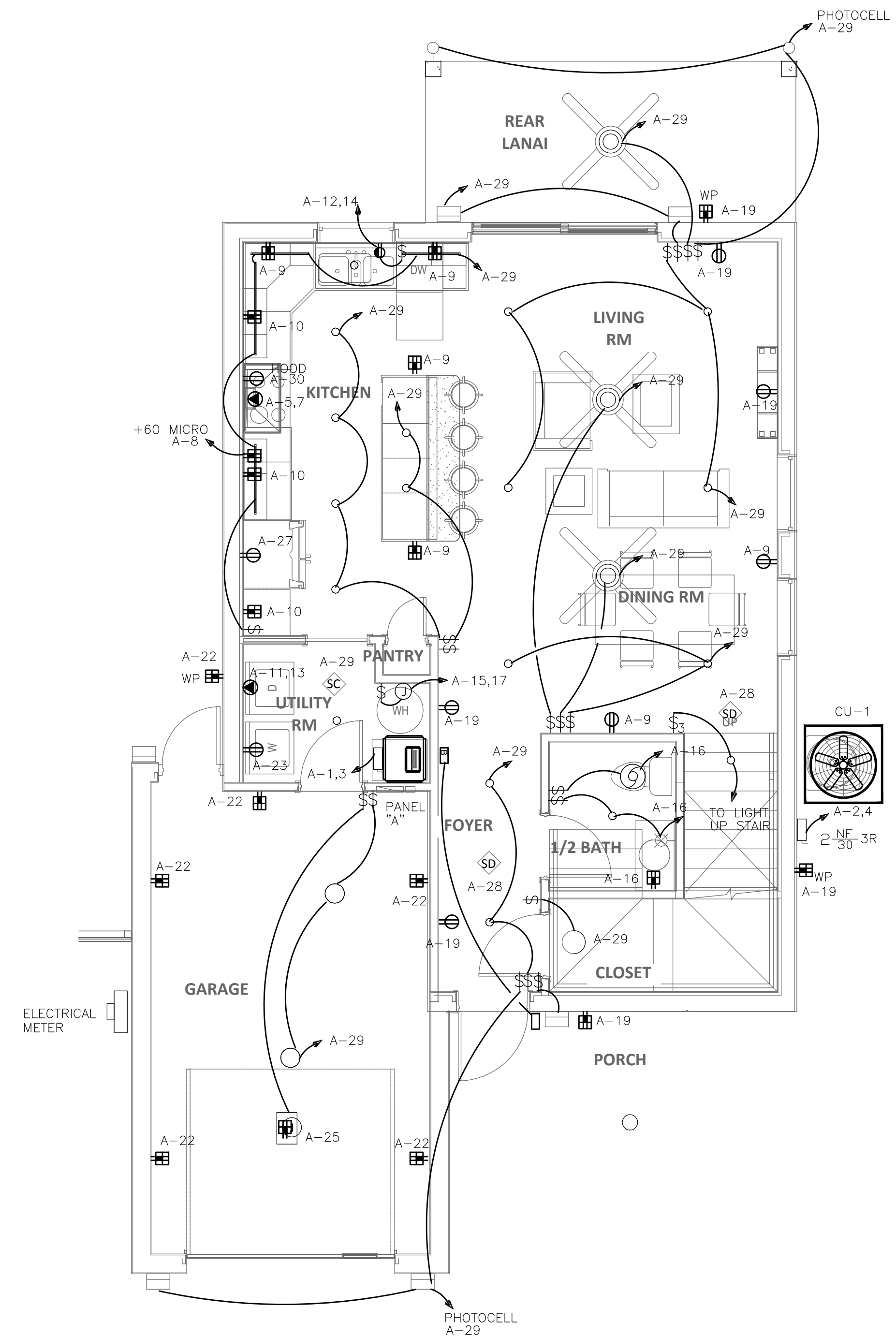
PERMIT SET

**M-2**

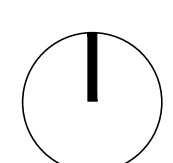




**ELECTRICAL 2ND FLOOR PLAN**  
 scale: 1/4" = 1'-0"  
 NORTH



**ELECTRICAL 1ST FLOOR PLAN**  
 scale: 1/4" = 1'-0"  
 NORTH



RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)			
PROTOTYPE SINGLE FAMILY HOME 2 STORY			
DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS
CHECKED BY:			
DQS PN#:	1713		
DATE:	06.08.18		
© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.		PERMIT SET <b>E-1</b>	
<b>DQ STUDIO ARCHITECTS</b> 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155   AA 28003190 P: 786.239.1322   F: 305.223.0574   WWW.D-Q-S.COM		<b>ELECTRICAL FLOOR PLAN</b>	

**bd** bach design engineers  
 381 SE 10th Street, Pompano Beach, FL 33060  
 TEL: (954) 461-4314 Fax: (954) 782-2036  
 info@bachengineers.com  
 CA# 28826  
 Viet Bach Nguyen, P.E.  
 Florida License #69753 Date: \_\_\_\_\_



## ELECTRICAL NOTES

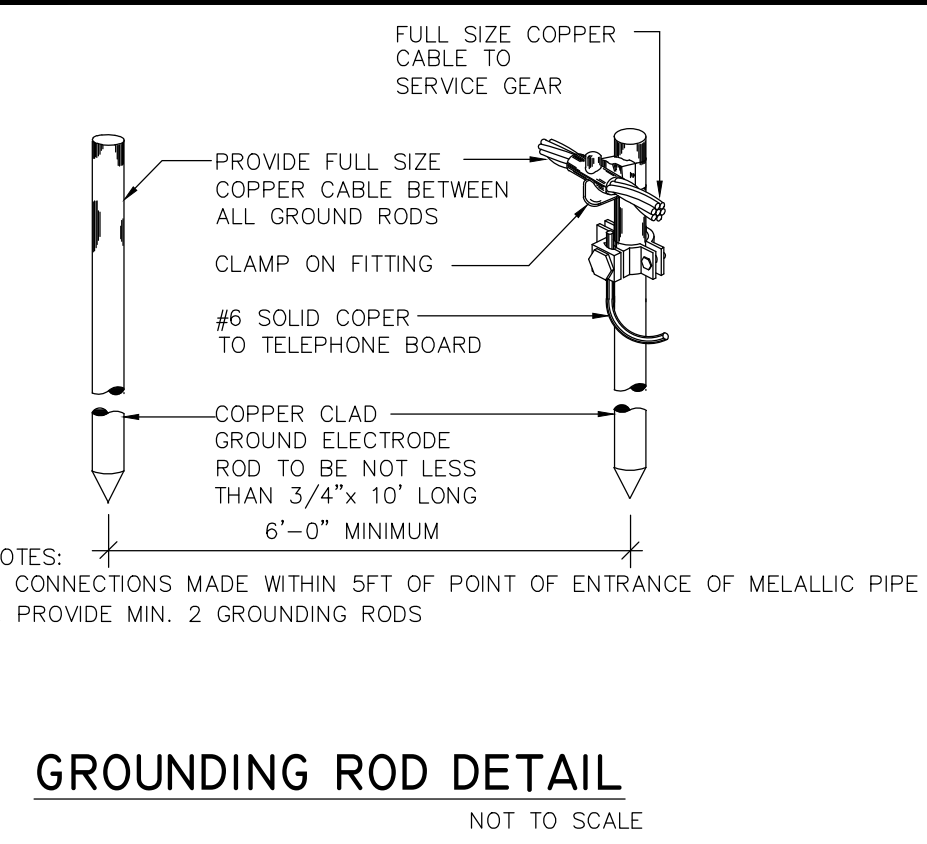
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE 2014, FLORIDA BUILDING CODE 2017 6TH ED. AND/OR ANY LOCAL CODES AND ORDINANCES.
- THE ELECTRICAL CONTRACTOR SHALL PAY ANY FEES, TAXES AND PERMIT FEES PERTAINING TO THE ELECTRICAL WORK.
- THE ELECTRICAL CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR LOCATION OF ALL EQUIPMENT. CONTRACTOR SHALL NOT SCALE PLANS.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY AND ALL DETAILS OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS AS TO PROVIDE A COMPLETE ELECTRICAL INSTALLATION WITH ALL EQUIPMENT IN PROPER WORKING ORDER.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND ALL OTHER SUB-CONTRACTORS.
- IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE DONE SO BY A LICENSED ELECTRICAL CONTRACTOR AND IN A FIRST CLASS WORKMANLIKE MANNER.
- ALL ELECTRICAL WORK AND MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE OF CERTIFICATE OF OCCUPANCY AND AS BY CONTRACT W/ OWNER.
- ALL POWER AND CONTROL WIRING SHALL BE DONE BY THE ELECTRICAL CONTRACTOR.
- NOT USED
- ALL EXTERIOR CIRCUITS SHALL BE IN PVC CONDUIT PROVIDED WITH A GREEN GROUND WIRE.
- ALL DISCONNECT SWITCHES SHALL BE FUSED WITH CURRENT LIMITING FUSES. VERIFY FUSE SIZE WITH EQUIPMENT'S NAME PLATE WHERE APPLICABLE.
- ALL PANELS SHALL HAVE TYPEWRITTEN DIRECTORIES INDICATING ALL CIRCUITS.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL PLUGS AND CORDS AT ALL APPLIANCES INDICATED ON PLANS AND SCHEDULES.
- ALL CONTRACTORS RESPONSIBLE FOR GENERATOR POWER.
- ALL WIRES AND CABLES SHALL BE COPPER EXCEPT AS INDICATED.
- FLEXIBLE WIRE CONNECTION TO C.U. SHALL NOT EXCEED 3 FT. IN LENGTH.
- CONTRACTOR SHALL PROVIDE LIGHTING FIXTURES AND AS PER LIGHTING FIXTURE SCHEDULE AND OBTAIN OWNER APPROVAL PRIOR TO SUBMITTING SHOP DRAWINGS.
- NOT USED
- ALL WIRE SIZES INDICATED ARE BASED THE USE OF COPPER CONDUCTORS. AT THE DEVELOPER'S OPTION ALUMINUM CONDUCTORS MAY BE USED FOR FEEDERS AND SERVICES WHERE THE FOLLOWING CONDITIONS ARE ADHERED TO:
  - MINIMUM SIZE OF ALUMINUM SHALL BE #1 AWG (100A).
  - ALL TERMINATIONS SHALL BE MADE WITH COMPRESSION TYPE FITTINGS.
  - CONDUIT SIZES SHALL BE INCREASED ACCORDINGLY IN ORDER TO ACCOMMODATE THE USE OF LARGER CONDUCTOR.
  - GROUND CONDUCTORS SHALL NOT BE ALUMINUM.
  - ALUMINUM CONDUCTORS SHALL NOT BE USED FOR BRANCH CIRCUIT WIRING.
- TIME SWITCHES SHALL BE 120V, 24 HOUR ASTRONOMIC DIAL AS APPROVED BY DESIGNER.
- ALL SMOKE DETECTORS SHOULD BE INTERCONNECTED. IN COMMON AREAS & SMOKE DETECTORS SHALL BE A COMBINATION IONIZATION / PHOTO ELECTRIC TYPE.
- NOT USED
- CONTRACTOR SHALL COORDINATE FUSE AND CKT. BREAKER SIZE AS PER EQUIPMENT NAME PLATE PRIOR TO ROUGH-IN CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR SHOPDRAWINGS.
- DRYER AND RANGE RECEPTACLES SHALL BE 120/240V, 1Ø 4 WIRE TYPE. (PER NEC 250.140)
- LIGHT SWITCHES, OUTLETS, THERMOSTATS IN ACCESSIBLE LOCATIONS. NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE FINISH FLOOR AND 44" WHERE BASE CABINETS.
- EQUIPMENT GROUNDING CONDUCTOR IN WET LOCATIONS SHALL BE COPPER.
- NOT USED
- ALL BRANCH CIRCUITS THAT SUPPLY 120V, 1Ø, 15AMP & 20AMP OUTLETS SHALL BE PROTECTED BY COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER NEC 2014 210-12(A).
- ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT (NEC 2014 406.12) IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, DEN, SUNROOM, BEDROOM, BATHROOM, LAUNDRY AND OUTDOOR AREA PER 551.71; ALL 125V, 12&25 AMP RECEPTACLES TO HAVE GFI.
- ALL SMALL APPLIANCE RECEPTACLES DEDICATED TO SERVE COUNTERTOP SURFACES IN KITCHEN SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 2014 210-53(B). OUTLET SPACING FOR THE COUNTER-TOP SURFACES SHALL COMPLY WITH (2014 NEC) 210.52(B)(C)
- SINGLE STATION 110V SMOKE DETECTORS WITH A SOUNDER BASE AND BATTERY BACK-UP. SMOKE DETECTORS SHALL BE INTERCONNECTED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL ACTIVATE ALL SMOKE DETECTOR SHALL ACTIVATE ALL SMOKE ALARMS WITHIN THE DWELLING UNIT. CONNECT TO LIVING ROOM LIGHTING CIRCUIT. AFCI TYPE CIRCUIT. LOCATE ALL SMOKE DETECTORS A MINIMUM OF 3'-0" FROM ALL RETURN AIR AND SUPPLY AIR GRILLES AND DIFFUSERS. ALL STATIONS SHOWN OUTSIDE THE SLEEPING ROOMS SHALL BE AC WIRE-IN COMBINATION CARBON MONOXIDE & SMOKE ALARM WITH BATTERY BACKUP AND INDEPENDENT CO AND SMOKE SENSORS. LOCATE ALL COMBINATION CARBON MONOXIDE & SMOKE ALARM WITHIN 10'-0" OF EACH SLEEPING ROOM.
- ISLAND RECEPTACLE SHALL BE MOUNTED NOT MORE THAN 12" BELOW THE COUNTERTOP. THE RECEPTACLE SHALL BE LISTED FOR THE APPLICATION.
- RECEPTACLES FOR HOOD AND MICROWAVE CONNECTION. FIELD COORDINATE EXACT LOCATION P PRIOR TO ROUGH IN.
- ALL CONDUIT RUNS SHALL BE CONCEALED INSIDE WALL.
- CHIME SHALL CONNECT TO PUSH BUTTON AT THE MAIN ENTRANCE. COORDINATE WIRING REQUIREMENTS WITH CHIME MANUFACTURER PRIOR TO BID/ROUGH IN

	RECESSED LIGHT FIXTURE		SIMPLEX OUTLET (20A, +18"O.C. FROM A.F.F. U.N.D)
	EXTERIOR RECESSED LIGHT FIXTURE		DUPLEX RECEPT. (20A, +18"O.C. FROM A.F.F. U.N.D)
	RECESSED LIGHT FIXTURE (VAPOR PROOF)		SPECIAL PURPOSE RECEPT. (30A, +18"O.C. A.F.F. U.N.D)
	WALL MOUNTED LIGHT FIXTURE		JUNCTION BOX
	EXTERIOR WALL MOUNTED LIGHT FIXTURE		GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE 120 VOLT.
	JUNCTION BOX		TELEPHONE OUTLET (+18"O.C. A.F.F. U.N.D)
	LIGHT SWITCH		TV, CABLE BOX, SATELLITE BOX CONNECTION OUTLET
	3-WAY LIGHT SWITCH		HP RATED DISCONNECT (+60"O.C. A.F.F. U.N.D) NEMA 3R FOR EXTERIOR AND NEMA 1 FOR INTERIOR.
	DOOR BELL		PANELBOARD (+60" A.F.F. O.C. OF PNL, U.N.D)
	BATHROOM EXHAUST FAN		ELECTRICAL METER (+60" A.F.F. O.C. OF MTR, U.N.D)
	FAN / LIGHT COMBO		CARBON MONOXIDE AND SMOKE DETECTOR COMBO
			CARBON MONOXIDE AND SMOKE DETECTOR COMBO

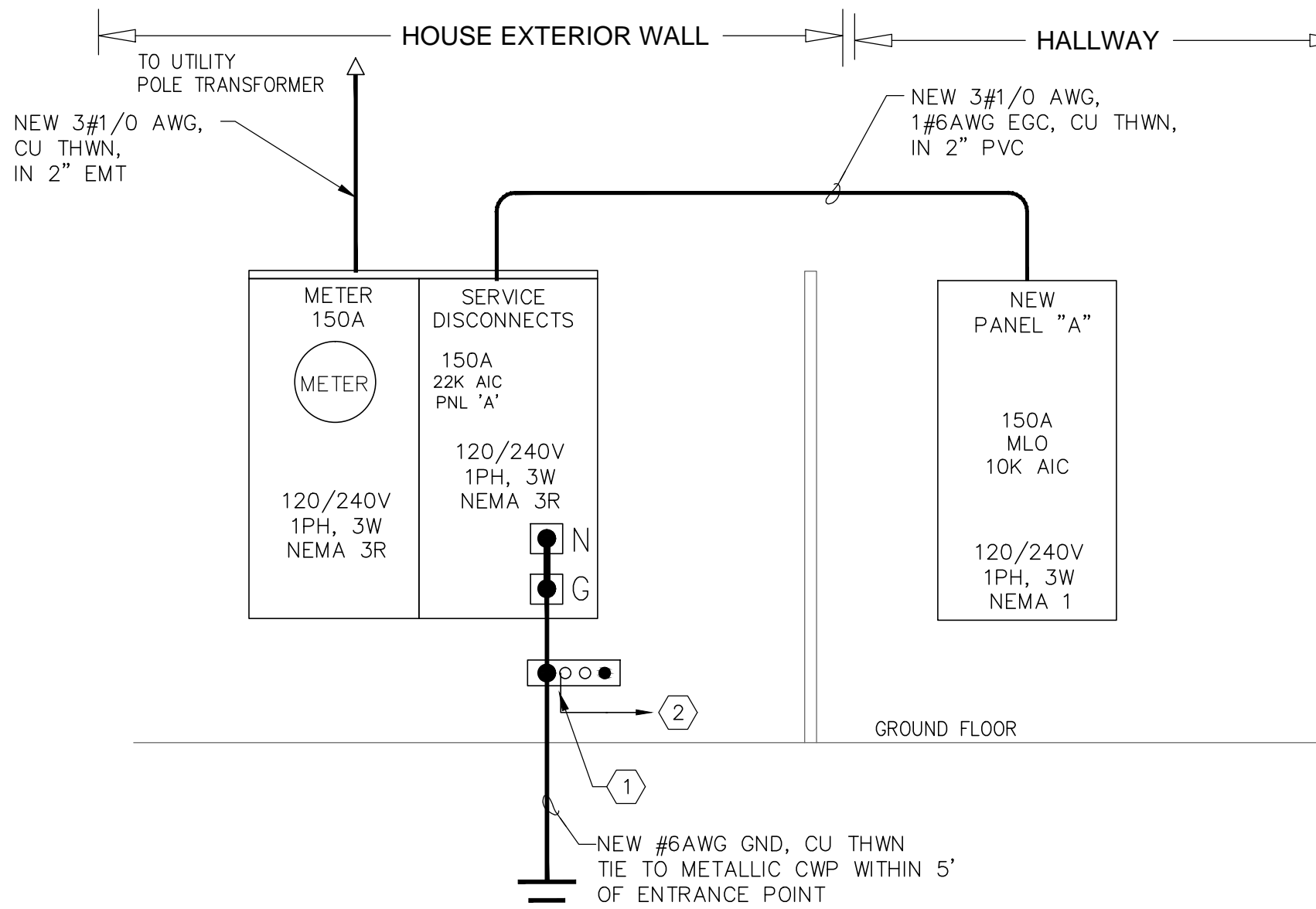
**LIGHTING NOTES:**  
 - A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS AS PER FBC 2017 R404.1  
 - RECESSED LUMINAIRES INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE IC-RATED AN LABELED AS PER FBC 2017 R402.4.5.

### GENERAL NOTES:

- ALL BRANCH CIRCUITS THAT SUPPLY 120V, 1Ø, 15AMP & 20AMP OUTLETS SHALL BE PROTECTED BY COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER NEC 2014 210-12(B).
- ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT (NEC 2014 406.11); IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, DEN, SUNROOM, BEDROOM, BATHROOM, LAUNDRY AND OUTDOOR AREA.
- ALL SMALL APPLIANCE RECEPTACLES DEDICATED TO SERVE COUNTERTOP SURFACES IN KITCHEN SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 2014 210-8(A)(6). OUTLET SPACING FOR THE COUNTER-TOP SURFACES SHALL COMPLY WITH 2014 NEC 210.52(B)(C)
- SINGLE STATION 110V SMOKE DETECTORS WITH A SOUNDER BASE AND BATTERY BACK-UP. SMOKE DETECTORS SHALL BE INTERCONNECTED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL ACTIVATE ALL SMOKE ALARMS WITHIN THE DWELLING UNIT. CONNECT TO LIVING ROOM LIGHTING CIRCUIT. AFCI TYPE CIRCUIT. LOCATE ALL SMOKE DETECTORS A MINIMUM OF 3'-0" FROM ALL RETURN AIR AND SUPPLY AIR GRILLES AND DIFFUSERS. ALL STATIONS SHOWN OUTSIDE THE SLEEPING ROOMS SHALL BE AC WIRE-IN COMBINATION CARBON MONOXIDE & SMOKE ALARM WITH BATTERY BACKUP AND INDEPENDENT CO AND SMOKE SENSORS. LOCATE ALL COMBINATION CARBON MONOXIDE & SMOKE ALARM WITHIN 10'-0" OF EACH SLEEPING ROOM.
- ALL RECEPTACLES AND SWITCHES IN OUTDOOR KITCHEN AND LIVING SPACE SHALL HAVE OUTDOOR RATED COVER PER NEC 406.9 AND 404.4



LOCATION: SEE FLOOR PLAN										SPEC: SQUARE D, ITC, G.E.															
PANEL "A" SCHEDULE										COPPER BUS ALUMINUM BUS															
CKT.	LOAD DESCRIPTION	WIRE	GRD.	COND.	POLE/TRIP	KVA A PHASE	KVA B PHASE	POLE/TRIP	COND.	GRD.	WIRE	GRD.	COND.	POLE/TRIP	KVA A PHASE	KVA B PHASE	POLE/TRIP	COND.	GRD.	WIRE	GRD.	COND.	LOAD DESCRIPTION	CKT.	
1	AHU-1	6	6	NM	2/60	5.3		2/20	NM	12	12												CU-1	2	
3																									4
5	RANGE	6	6	NM	2/60	4.0	0.9																		6
7																									8
9	SMALL APPLIANCE	12	12	NM	20	1.5	1.5																		10
11	DRYER	12	12	NM	2/30	2.5	.9																		12
13																									14
15	WATER HEATER	12	12	NM	2/30	2.25																			16
17																									18
19	FAMILY RECEPT.	14	14	NM	15																				20
21	BEDROOM 11 AND 17 RECEPT.	14	14	NM	15																				22
23	WASHER	12	12	NM	20																				24
25	GARAGE DOOR OPENER	12	12	NM	20																				26
27	REFRIGERATOR	12	12	NM	20	1.2																			28
29	FIRST FLOOR LIGHTING	14	14	NM	15																				30
31	SPACE																								32
33	SPACE																								34
35	SPACE																								36
37	SPACE																								38
39	SPACE																								40
41	SPACE																								42
SUBTOTAL										20.1	19.7														
ALL FEEDER CALCULATIONS ARE BASED ON THHN/THWN CU										CIRCUIT TYPE: <input type="checkbox"/> ARC FAULT <input type="checkbox"/> TIME SWITCH CONTROL															
NOT MORE THAN 4 CONDUCTORS IN A RACEWAY										TOTAL KVA IS REFER TO LOAD CALCULATIONS															
										TOTAL AMPERES IS REFER TO LOAD CALCULATIONS															
										POLE TRIP TYPE															
RATED VOLTAGE= 120/240 VOLTS 1 PHASE 3 WIRE										EQPT. GRD. <input type="checkbox"/> ISOL. GRD. <input type="checkbox"/>															
FEEDER SIZE IS: <input type="checkbox"/> CABLE = SEE RISER DIAGRAM <input type="checkbox"/> BUSWAY										MOUNTING: <input type="checkbox"/> SURFACE <input type="checkbox"/> FLUSH <input type="checkbox"/> FREE STANDING <input type="checkbox"/> KEYED DOOR															
NEUTRAL BUS IS: <input type="checkbox"/> HALF SIZE <input type="checkbox"/> FULL SIZE <input type="checkbox"/> K RATED (1.5) <input type="checkbox"/> K RATED (2.0)										BUS RATING: 150A BRACING = 10 KAIC															
ENCLOSURE: <input type="checkbox"/> NEMA 1 <input type="checkbox"/> NEMA 3R <input type="checkbox"/> NEMA 4X CLASS ( ) DIV ( )										GROUND BAR: <input type="checkbox"/> EQUIPMENT <input type="checkbox"/> ISOLATED <input type="checkbox"/> BOTH															
PANEL TYPE: <input type="checkbox"/> FUSED <input type="checkbox"/> CB PLUG IN <input type="checkbox"/> CB BOLT IN										FEED LOCATION: <input type="checkbox"/> TOP <input type="checkbox"/> BOTTOM <input type="checkbox"/> FEED THRU															
										FED FROM: <input type="checkbox"/> NORMAL <input type="checkbox"/> EMERGENCY <input type="checkbox"/> UNINTERRUPTABLE															



- NOTES: (#)
- INTERSYSTEM GROUNDING BRIDGE W/ CONDUIT ADAPTER AND PROTECTION COVER, ARLINGTON MDL# GBB50P (UL LISTED), OR APPROVED EQUAL
  - TIE TO PHONE/CATV UTILITY CABINET
  - PROVIDE WARNING TAPE

### LOAD CALCULATIONS

HOUSE AREA = 1,650 SQ. FT.

DESCRIPTION	LOAD (KVA)
HOUSE GENERAL LTG & RECEPT @ 3VA/SQ.FT.	5.0
SMALL APPLIANCE (2)	3.0
RANGE	8.0
WATER HEATER	4.5
DRYER	5.0
WASHER	1.2
REFRIGERATOR	1.2
GARAGE DOOR	1.1
DISHWASHER	1.5
MICROWAVE	1.3
GARAGE DISPOSAL	.9
	<b>32.7</b>

SUB-TOTAL LOAD (NON-DIVERSIFIED)

1ST 10 KVA @ 100% = 10.0 KVA  
 REMAINDER @ 40% = 9.1 KVA

LARGEST OF:  
 HEATING @ 65% (- KVA)  
 COOLING @ 100% (- KVA) } = 10.0 KVA

TOTAL DIVERSIFIED LOAD = 29.1 KVA

$\frac{1000VA}{1 KVA} \left( \frac{29.1 KVA}{240 V} \right) = 121 \text{ AMPERES}$

SERVICE PROVIDED: 120/240V, 3 WIRE, 150 AMPS.

**bd** bach design engineers

381 SE 10th Street, Pompano Beach, FL 33060  
 TEL:(954) 461-4314 Fax:(954) 782-2036  
 Info@bachdesignengineers.com  
 CA# 28826

Viet Bach Nguyen, P.E.  
 Florida License #69753 Date: \_\_\_\_\_

## RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC) PROTOTYPE SINGLE FAMILY HOME 2 STORY

DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS	DATE
CHECKED BY:				
DQS PN#:				
DATE:				

**DQ** STUDIO ARCHITECTS

© 2018 BY D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.

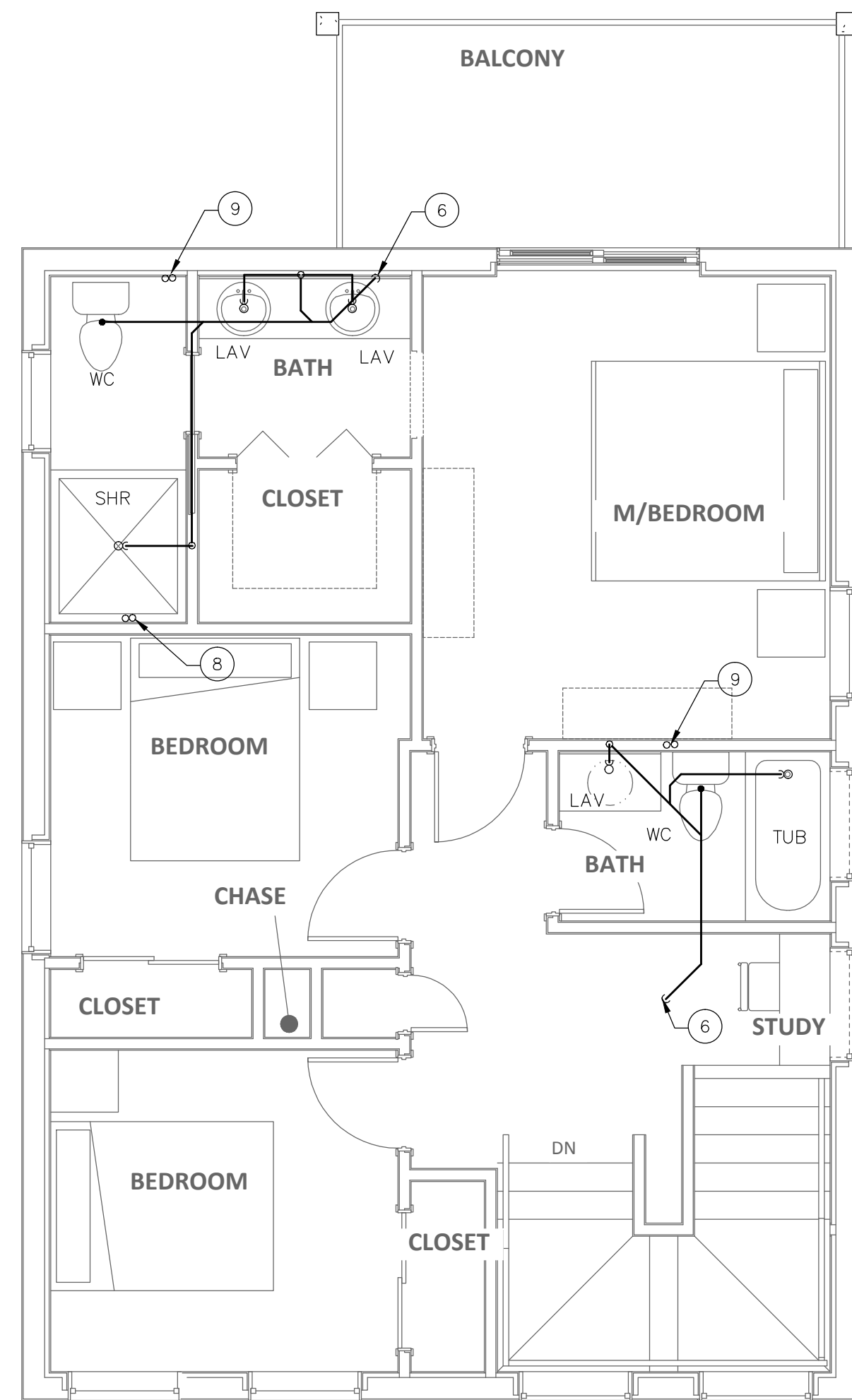
8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 | AA 28003190  
 P: 786.239.1322 | F: 305.223.0574 | WWW.D-Q-S.COM

**ELECTRICAL  
 NOTES AND  
 SCHEDULES**

PERMIT SET

**E-2**



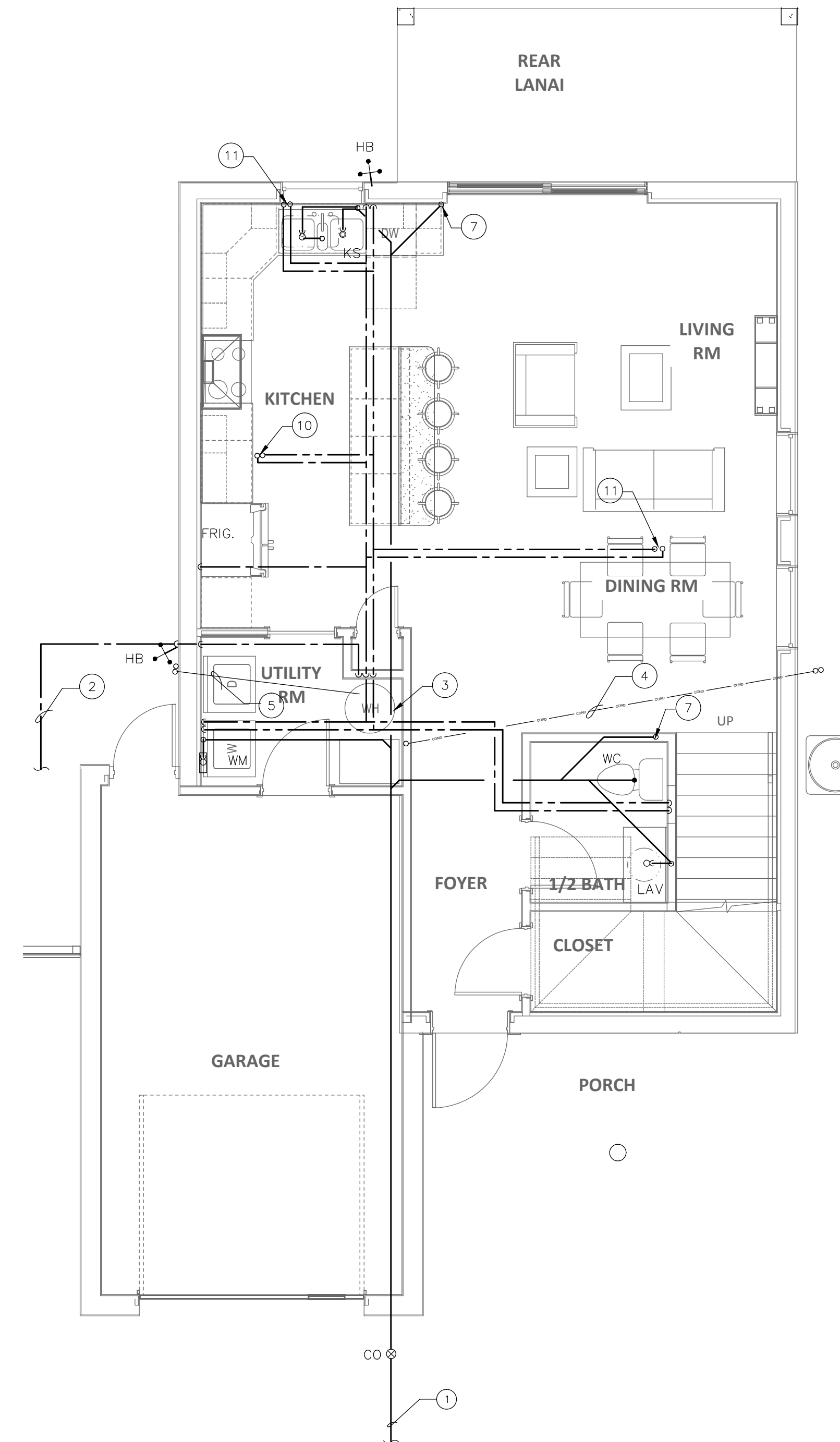


**PLUMBING 2ND FLOOR PLAN**

scale: 1/4" = 1'-0"



- PLUMBING KEY NOTES
- ① TIE NEW 4" SANITARY TO EXISTING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
  - ② TIE NEW 1" CW TO NEW METER. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
  - ③ 60 GALLON WATER HEATER. (4.5KW @ 240V, EFO.96)
  - ④ 2" CONDENSATE SPILL TO GRADE IN GREEN AREA 12" FROM BUILDING.
  - ⑤ 1" DRAIN PAN DISCHARGED TO OUTSIDE.
  - ⑥ 3" SANITARY DOWN
  - ⑦ 3" SANITARY UP
  - ⑧ 1/2" HW AND CW DOWN
  - ⑨ 1/2" HW AND 3/4" CW DOWN
  - ⑩ 1/2" HW AND CW UP
  - ⑪ 1/2" HW AND 3/4" CW UP

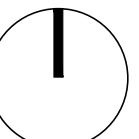


**PLUMBING 1ST FLOOR PLAN**

scale: 1/4" = 1'-0"



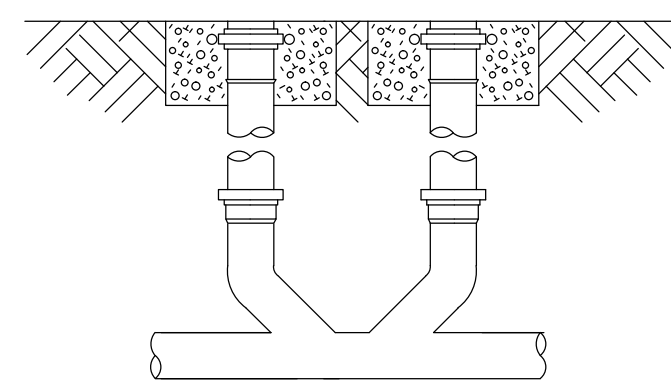
<b>RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)</b>			
<b>PROTOTYPE SINGLE FAMILY HOME 2 STORY</b>			
DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS
CHECKED BY:			DATE
DQS PN#:			
DATE:			
 381 SE 10th Street, Pompano Beach, FL 33060 TEL: (954) 461-4314 Fax: (954) 782-2036 info@bachengineers.com CA# 28826 Viet Bach Nguyen, P.E. Florida License #69753		 8245 S.W. 42ND STREET MIAMI, FLORIDA 33155   AA 28063190 P. 786.239.1322   F. 305.223.0574   WWW.D-Q-S.COM	
<b>PLUMBING PLAN</b>		<b>PERMIT SET</b>	
		<b>P-1</b>	



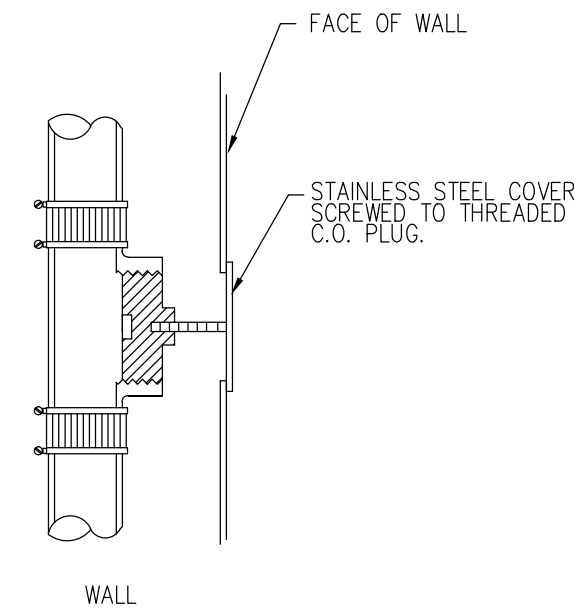


**GENERAL PLUMBING NOTES:**

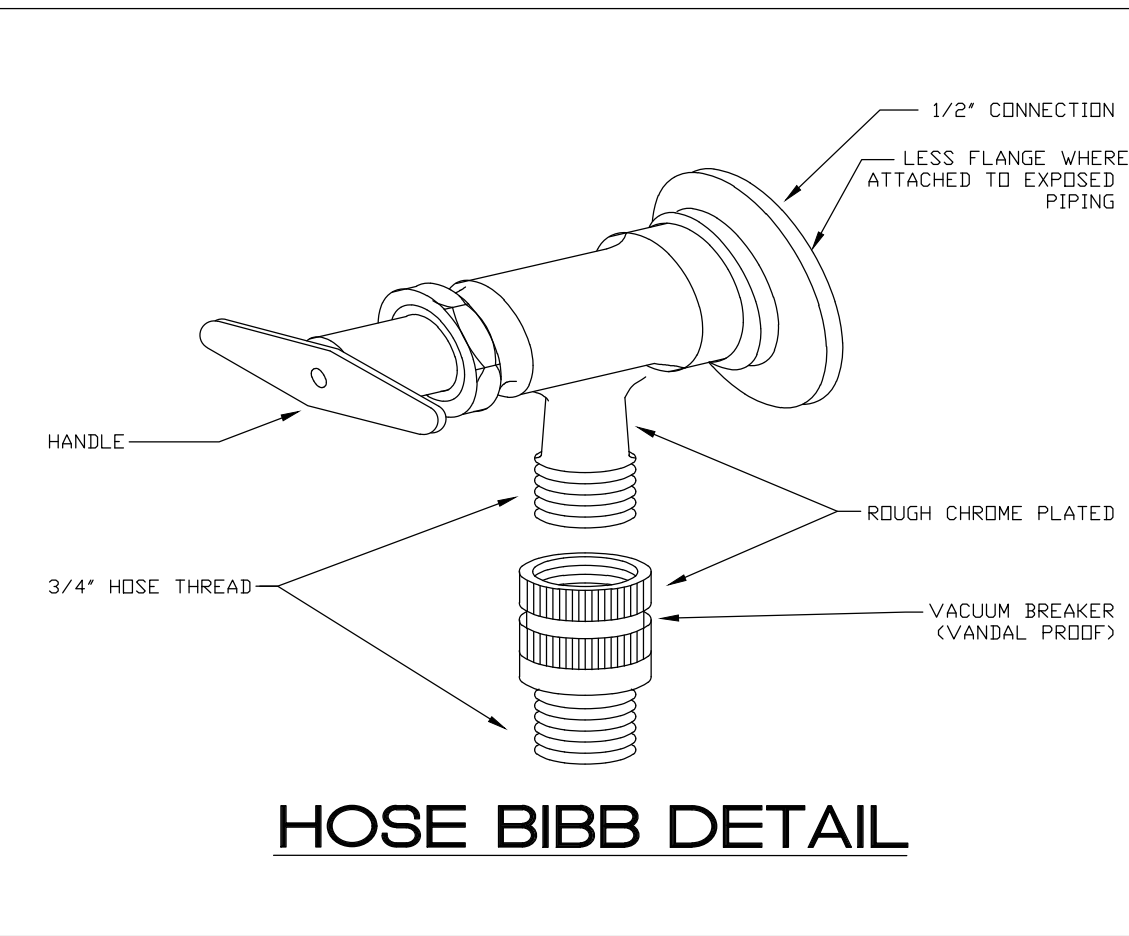
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FBC (PLUMBING 2014) AND WITH ALL APPLICABLE REGULATIONS.
2. DRAWINGS REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
3. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
4. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR.
5. ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PIPES AND SMALLER.
6. NOT USED.
7. PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FBC WATER SAVING STANDARDS.
8. MATERIALS:
  - A. PIPING:
    1. STORM, SOIL, WASTE AND VENT: SANITARY PIPE, PVC, DWV, SCHEDULE 40.
    2. DOMESTIC WATER: COPPER PIPE, TYPE L WITH SWEAT WROUGHT COPPER FITTINGS. TYPE "M" IN CONCEALED SPACES IS ACCEPTABLE. FLOW GUARD CPVC AND PEX PIPING IS AN ACCEPTABLE SUBSTITUTION. ISOLATE PIPING FROM CONCRETE WITH INSULATING MATERIAL.
    3. DOMESTIC WATER SUPPLY ASSEMBLY: STAINLESS STEEL BRAIDED SUPPLY LINE WITH ANGLE SHUT OFF VALVES.
    4. INSULATION: INSULATE ALL HOT WATER AND HOT RETURN WITH 1" FIBERGLASS INSULATION.
9. ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
10. PIPING TEST AND DISINFECTIONS:
  - A. TEST: ALL SANITARY AND DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED FOR LEAKS BEFORE PIPING IS CONCEALED OR CONNECTED TO EQUIPMENT AND PLUMBING FIXTURES.
  - B. DISINFECTION: ALL DOMESTIC WATER PIPING SHALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALCIUM HYPOCHLORITE OF 50 PARTS PER MILLION OF CHLORIDE AND AS PER AWWA STANDARDS.
11. HOSE BIBBS: SHALL BE 1/2 INCH, ROUGH BRASS CONSTRUCTION WITH SHUT OFF VALVE AND VACUUM BREAKER.
12. ALL OUTDOORS FLOOR CLEAN OUTS SHALL BE TERMINATED UP TO GRADE AND SHALL BE MARKED.
13. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY, AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.



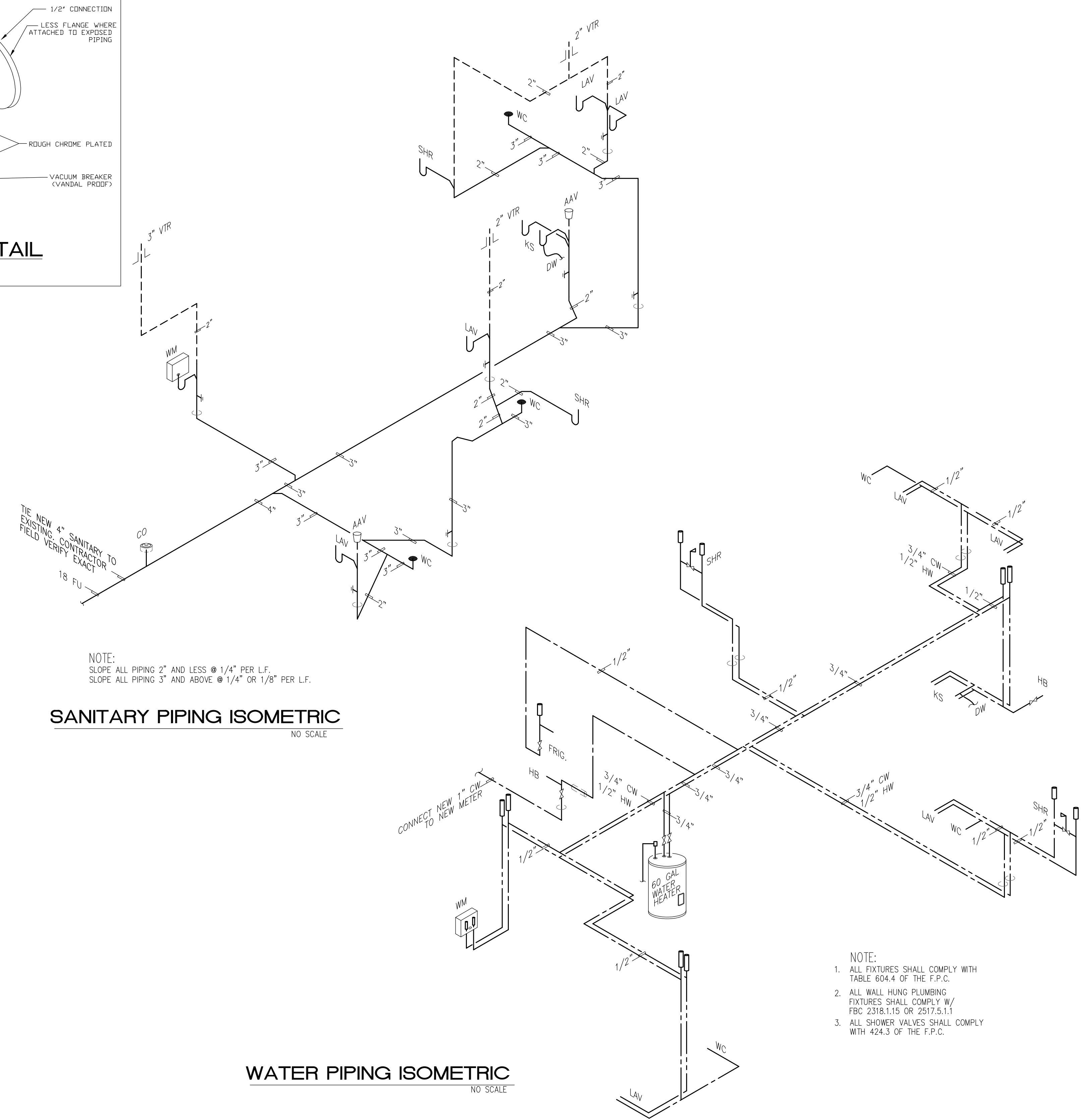
**2-WAY, CLEAN-OUT AT GRADE**



**CLEANOUT DETAIL**



**HOSE BIBB DETAIL**



NOTE:  
SLOPE ALL PIPING 2" AND LESS @ 1/4" PER L.F.  
SLOPE ALL PIPING 3" AND ABOVE @ 1/8" PER L.F.

**SANITARY PIPING ISOMETRIC**  
NO SCALE

**WATER PIPING ISOMETRIC**  
NO SCALE

NOTE:  
1. ALL FIXTURES SHALL COMPLY WITH TABLE 604.4 OF THE F.P.C.  
2. ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY W/ FBC 2318.1.15 OR 2517.5.1.1  
3. ALL SHOWER VALVES SHALL COMPLY WITH 424.3 OF THE F.P.C.

**PLUMBING SYMBOL LEGEND**

SYMBOL	DESCRIPTION
---	SANITARY LINE
- - - -	VENT LINE
→	SAFEWASTE LINE
CD	CONDENSATE LINE
---	GATE VALVE
---	COLD WATER LINE
---	HOT WATER LINE
P-	PLUMBING FIXTURE DESIGNATION
FCO	FLUSH CLEAN OUT
⊥	FLOOR PENETRATION
⊥	AIR CHAMBER
WCO	WALL CLEANOUT
VTR	VENT THRU ROOF
COOG	CLEANOUT ON GRADE
HB	HOSE BIBB W/VB

**PLUMBING FIXTURE SCHEDULE**

NAME	FIXTURE	MODEL #
WC	WATER CLOSET (TANK)	SEE ARCHITECT DRAWINGS
LAV	DROP-IN LAVATORY	SEE ARCHITECT DRAWINGS
TUB/SHR	TUB/SHOWER	SEE ARCHITECT DRAWINGS
KS	KITCHEN SINK	SEE ARCHITECT DRAWINGS
WM	WASHER SUPPLY BOX	OATEY WASH BOX

ALL TUB AND SHOWER VALVE SHALL BE ANTI-SCALD AND SHALL COMPLY WITH ASSE 1016.

FIXTURE	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
WATER CLOSET (TANK)	1/2"	3"	128 GPF
LAVATORY	1/2"	1 1/4"	.5 GPM
TUB	1/2"	2"	2.0 GPM

\* ALL PLUMBING FIXTURES SHALL BE SELECTED BY AND INSTALL BY CONTRACTOR

**RIVIERA BEACH COMMUNITY DEVELOPMENT CORP. (CDC)**  
**PROTOTYPE SINGLE FAMILY HOME 2 STORY**

DRAWN BY:	LOT # 673 WEST 1ST STREET, RIVIERA BEACH, FL. 33404	NO.	REVISIONS	DATE
CHECKED BY:				
DQS PN#:	1713			
DATE:	06.08.18			

**bd** bach design engineers  
381 SE 10th Street, Pompano Beach, FL 33060  
TEL:(954) 461-4314 Fax:(954) 782-2036  
Info@bachdesignengineers.com CA# 28826  
Viet Bach Nguyen, P.E. Florida License #69753 Date: \_\_\_\_\_

**DQ & Q STUDIO ARCHITECTS**  
© 2018 by D & Q Studio, LLC. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF D&Q STUDIO LLC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED, IN WHOLE OR IN PART, IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF D&Q STUDIO LLC. ANY SUCH UNAUTHORIZED USE WILL BE SOLELY AT THE USER'S RISK AND D&Q STUDIO LLC WILL BEAR NO RESPONSIBILITY ARISING OUT OF SUCH USE.  
8245 S.W. 42ND STREET MIAMI, FLORIDA 33155 | AA 28003180  
P: 786.239.1322 | F: 305.223.0574 | WWW.D-Q-S.COM

**PLUMBING NOTES, DETAILS AND RISERS**

PERMIT SET

**P-2**